

A Place Where Everyone Matters

AGENDA
Planning and Zoning Commission
Prosper Town Hall, Council Chambers
250 W. First Street, Prosper, Texas
Tuesday, June 06, 2023
6:00 PM

Welcome to the Prosper Planning \& Zoning Commission Meeting.
Citizens may watch the meeting live by using the following link:
https://prospertx.new.swagit.com/views/378/

## Addressing the Planning \& Zoning Commission:

Those wishing to address the Planning and Zoning Commission must complete the Public Comment Request Form located on the Town's website or in the Council Chambers.

If you are attending in person, please submit this form to the Town Secretary or the person recording the minutes for the Board/Commission prior to the meeting. When called upon, please come to the podium, and state your name and address for the record.

If you are watching online, please submit this form to the Town Secretary prior to 4:00 p.m. on the day of the meeting in order for your comments to be read into the record. The Town assumes no responsibility for technical issues beyond our control.

In compliance with the Texas Open Meetings Act, the Town Council/Board/ Commission may not deliberate or vote on any matter that does not appear on the agenda. The Council/Board/Commission, however, may provide statements of fact regarding the topic, request the topic be included as part of a future meeting, and/or refer the topic to Town staff for further assistance.

Citizens and other visitors attending Planning and Zoning Commission meetings shall observe the same rules of propriety, decorum, and good conduct applicable to members of the Commission. Any person making personal, impertinent, profane or slanderous remarks or who becomes boisterous while addressing the Commission or while attending the meeting shall be removed from the room, if so directed by the Mayor or presiding officer, and the person shall be barred from further audience before the Commission during that session of the meeting. Disruption of a public meeting could constitute a violation of Section 42.05 of the Texas Penal Code.

Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning \& Zoning Commission.

1. Call to Order / Roll Call.
2. Pledge of Allegiance.

## CONSENT AGENDA:

Items placed on the Consent Agenda are considered routine in nature and are considered noncontroversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of a Commission Member or staff.

3a. Consider and act upon the minutes from the May 16, 2023, Planning \& Zoning Commission meeting.

3b. Consider and act upon a request for a Preliminary Plat of Shawnee Trail Addition for 25 residential lots and 3 open space lots, on $18.9 \pm$ acres, located north of West Prosper Trail and west of North Dallas Parkway. The property is zoned Planned Development 75 (PD-75) NWC Dallas Parkway and Prosper Trail. (D22-0089)

3c. Consider and act upon a request for a Replat for Ladera Prosper, Phase 2, Block A, Lot 1R, on $44.0 \pm$ acres, located south of East First Street and west of North Custer Road. The property is zoned Planned Development-107 (PD-107) Brookhollow Ladera. (DEVAPP-23-0005).

3d. Consider and act upon a request for a Site Plan for a Residential Development, on $44.0 \pm$ acres, located south of East First Street and west of North Custer Road. The property is zoned Planned Development-107 (PD-107) Brookhollow Ladera. (DEVAPP-23-0006)

3e. Consider and act upon a request for a Replat for La Cima Crossing, Block A, Lot 3, and a Final Plat for La Cima Crossing, Block A, Lot 4, on 3.7 $\pm$ acres, located south of Richland Boulevard and west of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2) Willow Ridge. (DEVAPP-23-0058).

3f. Consider and act upon a request for a Site Plan for a Retail Store, on $1.5 \pm$ acres, located south of Richland Boulevard and west of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2) Willow Ridge. (DEVAPP-23-0059)

3g. Consider and act upon a request for a Preliminary Site Plan for a Mixed-Use Commercial Development, on $70.9 \pm$ acres, located on the southeast corner of West Frontier Parkway and North Dallas Parkway. The property is zoned Planned Development-69 (PD-69) Metten Tract. (D22-0098)

3h. Consider and act upon a request for a Revised Site Plan for an expansion to an Automobile Sales Store, on $15.1 \pm$ acres, located on the northwest corner of US-380 and Mahard Parkway. The property is zoned Planned Development-99 (PD-99) Toyota Penske. (DEVAPP-23-0068)

3i. Consider and act upon a request for a Preliminary Site Plan for an expansion to a House of Worship, on 13.6 $\pm$ acres, located on the southeast corner of Prairie Drive and Legacy Drive. The property is zoned Planned Development-65 (PD-65) Prosper Center. (DEVAPP-23-0077)

3j. Consider and act upon a request for a Site Plan for a Public School, on $85.5 \pm$ acres, located on the southeast corner of West First Street and South Teel Parkway. The property is zoned Planned Development-48 (PD-48) Grey Tract 163. (DEVAPP-230065)

## CITIZEN COMMENTS

The public is invited to address the Commission on any topic. However, the Commission is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Comment Request Form" and present it to a staff member prior to the meeting.

## REGULAR AGENDA:

If you wish to address the Commission, please fill out a "Public Comment Request Form" and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning and Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may either address the Commission during the Citizen Comments portion of the meeting or when the item is considered by the Planning and Zoning Commission.
4. Conduct a Public Hearing, and consider and act upon a request to rezone $69.9 \pm$ acres from Agriculture (A), a portion of Planned Development-40 (PD-40), and a portion of Single Family-12.5 (SF-12.5) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development, located on the southeast corner of Prosper Trail and Teel Parkway. (Z21-0010)
5. Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a new Wireless Communications and Support Structure, on . $1 \pm$ acre, located on the south side of Prosper Trail, west of Preston Country Lane. (ZONE-220001)
6. Conduct a Public Hearing and consider and act upon a request to rezone $0.3 \pm$ acres from Single Family-15 (SF-15) to Downtown Retail (DTR), on Lots 3-5. (ZONE-230001)
7. Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a new Wireless Communications and Support Structure, on . $1 \pm$ acre, located on the south side of Frontier Parkway, west of Talon Lane. (ZONE-23-0008)
8. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
9. Adjourn.

## CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday, June 2, 2023, and remained so posted at least 72 hours before said meeting was convened.

Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

## NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Council meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 5691011 at least 48 hours prior to the meeting time.

MINUTES
Regular Meeting of the


A Place Where Everyone Matters

## 1. Call to Order / Roll Call

The meeting was called to order at 6:00 p.m.
Commissioners Present: Chair Brandon Daniel, Vice Chair Damon Jackson, Secretary Mike Pettis, Sekou Harris, Cameron Reeves, Josh Carson

Staff Present: David Soto, Planning Manager; Doug Braches, Planning Technician; Talia Stevenson, Senior Administrative Assistant
2. Recitation of the Pledge of Allegiance.

## 3. CONSENT AGENDA

3a. Consider and act upon the minutes from the May 2, 2023, Planning \& Zoning Commission meeting.

3b. Consider and act upon a request for a Preliminary Plat of First Coit Prosper for 25 residential lots and 7 open space lots, on $16.4 \pm$ acres, located on the southeast corner of East First Street and Coit Road. The property is zoned Single Family-15 District (SF-15) and Specific Use Permit-44 (SUP-44). (D220089).

3c. Consider and act upon a request for a Preliminary Site Plan for a Public School and Commercial Development, on $143.7 \pm$ acres, located on the southeast corner of Fishtrap Road and South Teel Parkway. The property is zoned Planned Development-48 (PD-48) Grey Tract 163. (DEVAPP-23-0023)

3d. Consider and act upon a request for a Conveyance Plat for Prosper High School No. 4 Addition, Block A, Lot 1, and Block B, Lot 1 on 143.7士 acres, located on the southeast corner of Fishtrap Road and South Teel Parkway. The property is zoned Planned Development-48 (PD-48) Grey Tract 163. (DEVAPP-23-0040).

3e. Consider and act upon a request for a Preliminary Site Plan for a Commercial Development, on $20.8 \pm$ acres, located on the northeast corner of US-380 and FM-1385. The property is zoned Planned Development-94 (PD-94) Westside (DEVAPP-23-0031)

3f. Consider and act upon a request for a Site Plan \& Façade Plan for a Big Box, on 20.8 $\pm$ acres, located on the northeast corner of US-380 and FM-1385. The property is zoned Planned Development-94 (PD-94) Westside. (DEVAPP-230032 \& DEVAPP-23-0034)

3g. Consider and act upon a request for a Replat for Westside Addition, Block A, Lots 1, 14, and 18, on $25.5 \pm$ acres, located on the northeast corner of US380 and FM-1385. The property is zoned Planned Development-94 (PD-94) Westside. (DEVAPP-23-0033).

Motioned by Harris, seconded by Reeves, to approve the Consent Agenda, Motion approved 60.

## CITIZEN COMMENTS

Barbara Nugent (Citizen): Expressed concerns regarding ongoing development at the Legacy Gardens Office development regarding the facades not matching the characteristics of the Town. Also expressed concerns for the Pradera zoning case regarding building height of proposed offices and multi-family components.

David Huber (Citizen): Expressed concerns regarding PISD school developments.

## REGULAR AGENDA

4. Conduct a Public Hearing, and consider and act upon a request to amend the Future Land Use Plan from Residential Medium Density to Residential High Density, generally located on the southeast corner of Prosper Trail and Teel Parkway. This is a companion case to Z21-0010. (CA22-0001).

David Soto (Staff): Presented information regarding Item 4.
Commissioners expressed concerns regarding future high density zoning and potential future developments. Requested clarification on applicants request for multifamily and single family development standards.

Nate Parrot (Applicant): Presented information on the project.
Commissioners asked for information regarding minimum lot size, age restrictions, if the townhome component is for sale or lease, the number of units, types of garages, building height and anticipated price points.

Nate Parrot (Applicant): Provided commissions with information regarding their questions.
Commissioners expressed concerns on the open ended development standards of the multifamily tract.

Chair Brandon Daniel opened the public hearing.
David Huber (Citizen): Expressed concerns regarding the zoning case, proposed buffer to the south of the project, elimination of the natural pond, future use of the area of the previous pond, 100 year floodplain maintenance not being included in the development standards.

Barbara Nugent (Citizen): Expressed concerns regarding increasing residential density.
Clint Richardson (Developer): Provided background information regarding the elimination of the bond, cost of developing on a floodplain, Town's screening requirements and overall lot sizes.

Commissioners asked questions regarding the timeline of the proposed development, and to include possible amendments to the Planned Development prior to approval.

David Soto (Staff): Gave recommendation to table item 4 to allow for the applicant to provide changes prior to approval.

Chair Brandon Daniel closed the public hearing.
Commissioners continued to express concerns regarding the multifamily tract language and lot size definitions of high density residential districts.

Motioned by Harris to table item 4 to continue the public hearing at the June 6 th Planning and Zoning Commission meeting, seconded by Carson. Motion approved to table item 4 to the June $6^{\text {th }}$ Planning and Zoning Commission meeting 6-0.
5. Conduct a Public Hearing, and consider and act upon a request to rezone 69.9士 acres from Agriculture (A), a portion of Planned Development-40 (PD-40), and a portion of Single Family-12.5 (SF-12.5) to Planned Development-Single Family (PDSF ), generally to allow for a residential development and retirement housing development, located on the southeast corner of Prosper Trail and Teel Parkway. (Z21-0010)

David Soto (Staff): Presented information regarding Item 5.
Chair Brandon Daniel opened the public hearing.
Clint Richard (Developer): Presented information regarding developmental timelines, potential options and amendments for future cases.

Chair Brandon Daniel closed the public hearing.
Motion by Jackson to table Item 5 to continue the public hearing at the June $6{ }^{\text {th }}$ Planning and Zoning Commission meeting, seconded by Reeves. Motion approved to table item 5 to the June $6^{\text {th }}$ Planning and Zoning Commission meeting 6-0.
6. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.

David Soto (Staff): Presented information regarding Town Council action and upcoming cases for Planning and Zoning Commission action.

## 10. Adjourn.

Motioned by Harris, seconded by Reeves to adjourn. Motion approved 6-0 at 7:40 p.m.

A Place Where Everyone Matters

## PLANNING

To: Planning \& Zoning Commission<br>Item No. 3b<br>From: Dakari Hill, Senior Planner<br>Through: David Soto, Planning Manager<br>Re:<br>Planning \& Zoning Commission Meeting - June 06, 2023

## Agenda Item:

Consider and act upon a request for a Preliminary Plat of Shawnee Trail Addition for 25 residential lots and 3 open space lots, on $18.9 \pm$ acres, located north of West Prosper Trail and west of North Dallas Parkway. The property is zoned Planned Development 75 (PD-75) NWC Dallas Parkway and Prosper Trail. (D22-0089)

## Description of Agenda Item:

The purpose of this Preliminary Plat is to create 25 residential lots and 3 open space lots from one unplatted tract of land for a private subdivision. The Preliminary Plat conforms to the Planned Development 75 (PD-75) development standards.

## Attached Documents:

1. Location Map
2. Preliminary Plat

## Staff Recommendation:

Staff recommends approval of the Preliminary Plat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Preliminary Plat.
2. Approval of street names


## D22-0090

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CERTIFICATE OF APPROVAL

Town Secretary
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## CASE No. D22-0090

PRELIMINARY PLAT manimaniona
"TRACT 4 "
LOTS $1-9,10 X$, BLOC
LOTS 1-8, BLOCK B LOTS 1-8, 9X, BLOCK
LOT 1X, BLOCK D

25 RESIDENTIALLOTS, 3 HOA LOTS BEING 18.93 ACRES OF LAND SITUATED IN THE
COLLIN COUNTY SCHOOL LAND SURVEY
 PREPARED 05/22/2023


A Place Where Everyone Matters

## PLANNING

| To: | Planning \& Zoning Commission | Item No. 3c |
| :--- | :--- | :--- |
| From: | Dakari Hill, Senior Planner |  |
| Through: | David Soto, Planning Manager |  |
| Re: | Planning \& Zoning Commission Meeting - June 06, 2023 |  |

## Agenda Item:

Consider and act upon a request for a Replat for Ladera Prosper, Phase 2, Block A, Lot 1R, on $44.0 \pm$ acres, located south of East First Street and west of North Custer Road. The property is zoned Planned Development-107 (PD-107) Brookhollow Ladera. (DEVAPP-23-0005).

## Description of Agenda Item:

The purpose of this Replat is to add necessary easements to build additional roads and homes. The Replat conforms to the Planned Development-107 (PD-107) development standards.

As a companion item, the Site Plan (DEVAPP-23-0006) for an age-restricted residential development is also on the June 06, 2023 agenda.

## Attached Documents:

1. Location Map
2. Replat

## Staff Recommendation:

Staff recommends approval of the Replat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Replat.



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## PLANNING

## A Place Where Everyone Matters

To: Planning \& Zoning Commission
From: Dakari Hill, Senior Planner
Through: David Soto, Planning Manager
Re: Planning \& Zoning Commission Meeting - June 06, 2023Item No. 3d

## Agenda Item:

Consider and act upon a request for a Site Plan for a Residential Development, on $44.0 \pm$ acres, located south of East First Street and west of North Custer Road. The property is zoned Planned Development-107 (PD-107) Brookhollow Ladera. (DEVAPP-23-0006)

## Description of Agenda Item:

The Site Plan shows a 71-home addition to an age-restricted residential development as shown below:


Access will be provided from North Custer Road. The Site Plan (DEVAPP-23-0006) conforms to the Planned Development-107 (PD-107) development standards.

As a companion item, the Replat (DEVAPP-23-0005) is also on the Planning \& Zoning Commission agenda for June 06, 2023.

## Attached Documents:

1. Location Map
2. Site Plan

## Town Staff Recommendation:

Town staff recommends approval of the Site Plan, subject to:

1. Town staff approval of civil engineering, irrigation plan, and address plan.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.




A Place Where Everyone Matters

## PLANNING

| To: | Planning \& Zoning Commission | Item No. 3e |
| :--- | :--- | :--- |
| From: | Dakari Hill, Senior Planner |  |
| Through: | David Soto, Planning Manager |  |
| Re: | Planning \& Zoning Commission Meeting - June 06, 2023 |  |

## Agenda Item:

Consider and act upon a request for a Replat for La Cima Crossing, Block A, Lot 3, and a Final Plat for La Cima Crossing, Block A, Lot 4, on 3.7 $\pm$ acres, located south of Richland Boulevard and west of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2) Willow Ridge. (DEVAPP-23-0058).

## Description of Agenda Item:

The purpose of this Replat/Final Plat is to develop Lot 4 and modify the landscaping easement on Lot 3. The Replat conforms to the Planned Development-2 (PD-2) development standards.

As a companion item, the Site Plan (DEVAPP-23-0059) for a retail store is also on the June 6, 2023 agenda.

## Attached Documents:

1. Location Map
2. Replat/Final Plat

## Staff Recommendation:

Staff recommends approval of the Replat/Final Plat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Replat.



## DEVAPP-23-0058

Richland Parkway Retail

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| Line Data Table |  |  |
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| Line \# | Distance | Bearing |
| 4 | 153.93' | N88.45'20"W |
| L2 | 105.77' | N00'45' |
| $\llcorner 3$ | 39.96' | S8884882 210 E |
| $\llcorner 4$ | 24.49' | N88832'39"E |
| $\llcorner 5$ | 146.12' | S88 $45^{\prime 2} 0^{\prime \prime E}$ E |
| $\llcorner 6$ | 105.71' | S00 $45^{\prime} 50^{\prime \prime} \mathrm{E}$ |
| L7 | 115.83' | N88 $48^{2} 21^{\prime \prime} \mathrm{W}$ |
| $\llcorner 8$ | 84.14' | N01 $23^{\prime} 30^{\prime \prime} \mathrm{E}$ |
| $\llcorner 9$ | 3.49' | N88 $49^{\prime} 55^{\prime \prime} \mathrm{W}$ |
| L10 | 104.93' | N12"13099"E |
| 411 | 10.00' | S77 $46^{\prime} 511^{\prime \prime} \mathrm{E}$ |
| 412 | 105.11' | S1273 $3^{\prime \prime} 9^{\prime \prime} \mathrm{W}$ |
| L13 | 42.39' | N00'00'32"E |
| L14 | 12.27' | S88.32'36 ${ }^{\prime \prime} \mathrm{W}$ |
| L15 | 2.74' | N88 $8^{4} 8^{\prime 2} 3^{\prime \prime} \mathrm{W}$ |
| L16 | 45.27' | Noo'00' 2 $^{\prime \prime}$ E |
| 417 | 20.34' | S88 $45^{4} 47^{\prime \prime} \mathrm{E}$ |
| L18 | 9.96' | S0114413 $3^{\prime \prime} \mathrm{W}$ |
| L19 | 14.60' | N0119413 ${ }^{\prime \prime} \mathrm{E}$ |
| L20 | 15.96' |  |


| Line Data Table |  |  |
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| Line \# | Distance | Bearing |
| L21 | $20.61{ }^{\prime}$ | N01 $07^{\prime} 25^{\prime \prime} \mathrm{E}$ |
| L22 | 25.00' |  |
| L23 | 50.53' | N01 $0^{\circ}{ }^{\prime} 25^{\prime \prime} \mathrm{E}$ |
| $\llcorner 24$ | 15.44' | S88'49'49"E |
| $\llcorner 25$ | $9.96{ }^{\prime}$ | N0170'11"E |
| $\llcorner 26$ | 8.40' | S88'366 $34^{\prime \prime} \mathrm{E}$ |
| L27 | 24.88' | S01140909W |


| Curve Data Table |  |  |  |  |  |
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| Curve \# | Arc | Rodius | Delta | Chord Bearing | Chord |
| C1 | 43.24' | 3.00 | 082'35'08' | N47'27'46"W | 39.59' |
| C2 | 82.93' | 54.00' | 087'59'30" | N44445'35"W | 75.02' |
| c3 | $86.67{ }^{\prime}$ | 54.00' | 915729 | N45'12'55"E | 77.66' |
| C4 | 58.85' | $20.00{ }^{\prime}$ | 168.35'20" | N0474'59"E | $39.80^{\circ}$ |
| c5 | $46.07{ }^{\prime}$ | $30.00^{\prime}$ | 087599'30" | S44445435"E | $41.68^{\prime}$ |
| ${ }^{\text {c6 }}$ | 48.15' | 30.00' | 091 57'29" | S45'912 $55^{\prime \prime} \mathrm{W}$ | 43.15' |
| c7 | 47.23' | $30.00^{\prime}$ | 09071151" | N43*42 $25^{\prime \prime} \mathrm{W}$ | 5' |
| C8 | 3.29' | $3.00^{\prime}$ | 062'54'04" | N57 $222^{2} 54^{\prime \prime} \mathrm{W}$ | $3.13^{\prime}$ |
| c9 | 48.00' | 20.00 | 137293'58" | N22'29'41 | $37.28^{\prime}$ |
| c10 | 10.01 | 895 | 000'38'26" | S76:47 | 10.01' |
| C11 | 15.23' | 867.68' | 001 $000^{\prime 2} 20^{\prime \prime}$ | S80.0442"E | 15.23' |
| C12 | 23.22' | 30.00 | 044'20'47" | N62'40 ${ }^{\circ} 511^{\prime \prime} \mathrm{W}$ | $22.64^{\prime}$ |
| ${ }^{\text {c13 }}$ | 19.15' | 54.00' | 020'99'26" | N36.05'35"W | 19.05' |
| $\mathrm{Cl}_{1}$ | 53.83' | 899.00' | 003'26 '4" | S74*45 ${ }^{\circ} 4^{\prime \prime}$ E | 53.82' |
| C15 | $38.68{ }^{\prime}$ | 895.08' | 002288'33" | 578.21710"E | 38.67' |
| $\mathrm{Cl6}$ | 15.35' | 89 | $000 \cdot 585$ | $581{ }^{\circ} 3^{\prime} 25^{\prime \prime} \mathrm{E}$ | 15.3 |

A REPLAT OF
A FINAL PLATAT OF
LA CIMA CROSSING
LOT 3R\& 4R, BLOCK


PLANNING

A Place Where Everyone Matters

To: Planning \& Zoning Commission Item No. 3f
From: Dakari Hill, Senior Planner
Through: David Soto, Planning Manager
Re: $\quad$ Planning \& Zoning Commission Meeting - June 06, 2023

## Agenda Item:

Consider and act upon a request for a Site Plan for a Retail Store, on $1.5 \pm$ acres, located south of Richland Boulevard and west of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2) Willow Ridge. (DEVAPP-23-0059)

## Description of Agenda Item:

The Site Plan shows a 15,247 square foot building for a retail store as shown below:


Access will be provided from Richland Boulevard and US-380. The Site Plan (DEVAPP-23-0059) conforms to the Planned Development-2 (PD-2) development standards.

As a companion item, the Replat (DEVAPP-23-0058) is also on the Planning \& Zoning Commission agenda for June 6, 2023.

## Attached Documents:

1. Location Map
2. Site Plan

## Town Staff Recommendation:

Town staff recommends approval of the Site Plan, subject to:

1. Town staff approval of civil engineering, irrigation plan, and address plan.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.


## PROSPER



## DEVAPP-23-0059

Richland Parkway Retail

| Stit data table |  |
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| LOT NUMEER | 4 |
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| PROPOSED USE <br> GROSS LOT AREA | retallcommercial |
| LANDSCAPING |  |
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| Provilied Landoscailin area |  |
| TOTALIMPRERVIOUS AREA | 46.592 SFF $72.88 \%$ |
| BUIIIING SUMMARY |  |
| Proposed buluing gros area | ${ }^{15,2475}$ |
| PROPOSED BUILDING HEIGHT |  |
| MAX LOT Coverage |  |
| provideo lot coverage | 23.8\% |
| max floor area atio | 0.5.120.50) |
| PARKIIG SUMMARY |  |
|  |  |
| PARKING RATIO PER USE | 1/250sF |
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| HANDICAPPED PARKING Provided | 4 |

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A Place Where Everyone Matters

| To: | Planning \& Zoning Commission | Item No. 3g |
| :--- | :--- | :--- |
| From: | Dakari Hill, Senior Planner |  |
| Through: | David Soto, Planning Manager |  |
| Re: | Planning \& Zoning Commission Meeting - June 06, 2023 |  |

## Agenda Item:

Consider and act upon a request for a Preliminary Site Plan for a Mixed-Use Commercial Development, on $70.9 \pm$ acres, located on the southeast corner of West Frontier Parkway and North Dallas Parkway. The property is zoned Planned Development-69 (PD-69) Metten Tract. (D22-0098)

## Description of Agenda Item:

The Preliminary Site Plan shows a 132,000 square foot big box retail building with 2,000-4,575 square foot restaurant and bank buildings as shown below:


Access will be provided from West Frontier Parkway and North Dallas Parkway. The Preliminary Site Plan (D22-0098) conforms to the Planned Development-69 (PD-69) development standards.

## Attached Documents:

1. Location Map
2. Preliminary Site Plan

## Town Staff Recommendation:

Town staff recommends approval of the Preliminary Site Plan, subject to:

1. Town staff approval of preliminary water, sewer, and drainage plans.
2. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.
3. Approval of the Restaurant with drive-throughs by Town Council on Lots $4 \& 5$.


## D22-0098

Big Box DNT \& Frontier PSP








PLANNING

A Place Where Everyone Matters

To: Planning \& Zoning Commission Item No. 3h
From: Dakari Hill, Senior Planner
Through: David Soto, Planning Manager
Re: $\quad$ Planning \& Zoning Commission Meeting - June 06, 2023

## Agenda Item:

Consider and act upon a request for a Revised Site Plan for an expansion to an Automobile Sales Store, on $15.1 \pm$ acres, located on the northwest corner of US-380 and Mahard Parkway. The property is zoned Planned Development-99 (PD-99) Toyota Penske. (DEVAPP-23-0068)

## Description of Agenda Item:

The Revised Site Plan shows a 22,226 square foot expansion to a 46,105 square foot car dealership as shown below:


Access will be provided from US-380 and Mahard Parkway. The Site Plan (DEVAPP-23-0068) conforms to the Planned Development-99 (PD-99) development standards.

## Attached Documents:

1. Location Map
2. Site Plan

## Town Staff Recommendation:

Town staff recommends approval of the Site Plan, subject to:

1. Town staff approval of civil engineering, irrigation plan, and address plan.
2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.


## DEVAPP-23-0068

Toyota Expansion


## UNIVERSITY




4-therth


## A Place Where Everyone Matters

## PLANNING

To: $\quad$ Planning \& Zoning Commission
From: Dakari Hill, Senior Planner

## Through: David Soto, Planning Manager

Re: $\quad$ Planning \& Zoning Commission Meeting - June 06, 2023

Item No. 3i

## Agenda Item:

Consider and act upon a request for a Preliminary Site Plan for an expansion to a House of Worship, on $13.6 \pm$ acres, located on the southeast corner of Prairie Drive and Legacy Drive. The property is zoned Planned Development-65 (PD-65) Prosper Center. (DEVAPP-23-0077)

## Description of Agenda Item:

The Preliminary Site Plan shows a 17,595 square foot expansion to a 35,570 square foot church as shown below:


Access will be provided from Prairie Drive and Legacy Drive. The Preliminary Site Plan (DEVAPP-23-0077) conforms to the Planned Development-65 (PD-65) development standards.

## Attached Documents:

1. Location Map
2. Preliminary Site Plan

## Town Staff Recommendation:

Town staff recommends approval of the Preliminary Site Plan, subject to:

1. Town staff approval of preliminary water, sewer, and drainage plans.
2. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.


## DEVAPP-23-0077

One Community Church



AUTHERS BUILDING GROUP


## ONE COMMUNITY CHURCH PROSPER EXPANSION

PROSPER, TEXAS




## PLANNING

A Place Where Everyone Matters

| To: | Planning \& Zoning Commission |
| :--- | :--- |
| From: | Dakari Hill, Senior Planner |
| Through: | David Soto, Planning Manager |
| Re: | Planning \& Zoning Commission Meeting - June 06, 2023 |

## Agenda Item:

Consider and act upon a request for a Site Plan for a Public School, on $85.5 \pm$ acres, located on the southeast corner of West First Street and South Teel Parkway. The property is zoned Planned Development-48 (PD-48) Grey Tract 163. (DEVAPP-23-0065)

## Description of Agenda Item:

The Site Plan shows a 550,875 square foot building and a 75,556 square foot multi-purpose building with outdoor fields for a high school as shown below:


## Living Screen Request

A solid screening wall is required along non-residential and residential. Currently on site, a 6' cedar fence has been built by the subdivision (The Parks at Legacy). Instead of a double wall, the applicant is requesting a living screen. Per the zoning ordinance, Planning and Zoning Commission may approve a living screen instead of a solid screening wall.

As shown below, the solid living screen consists of Nellie R. Stevens Holly shrubs, six-foot (4'-5') on centers, $7^{\prime}$ - 8 ' feet in height, within the fifteen (15) foot landscape area.


Access will be provided from West First Street, South Teel Parkway, and Prairie Drive. The Site Plan (DEVAPP-23-0065) conforms to the Planned Development-48 (PD-48) development standards.

## Attached Documents:

1. Location Map
2. Site Plan

## Town Staff Recommendation:

Town staff recommends approval of the Site Plan, subject to:

1. Planning \& Zoning Commission of solid living screening in lieu of a masonry wall.
2. Town staff approval of civil engineering, irrigation plan, and address plan.
3. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.



A Place Where Everyone Matters

To: Planning \& Zoning Commission
Item No. 4.
From: David Soto, Planning Manager
Re: $\quad$ Planning \& Zoning Commission Meeting - June 06, 2023

## Agenda Item:

Conduct a Public Hearing, and consider and act upon a request to rezone $69.9 \pm$ acres from Agriculture (A), a portion of Planned Development-40 (PD-40), and a portion of Single Family12.5 (SF-12.5) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development, located on the southeast corner of Prosper Trail and Teel Parkway. (Z21-0010)

## History:

The applicant was originally tabled on April 18, 2023. The applicant revised the conceptual layout due to some of the concerns based on comments made by Artesia at the April 18 meeting. The item was also tabled at the May 16, 2023 meeting. Since then, the applicant has made modifications to remove the retirement housing development and to develop the entire tract of land as Single Family. This will consist of lots starting at a minimum of 10,000 sqft.

## Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

|  | Zoning | Current Land Use | Future Land Use <br> Plan |
| :--- | :---: | :---: | :---: |
| Subject <br> Property | Agriculture (A), a portion of <br> Planned Development-40 (PD- <br> 40), and a portion of Single <br> Family-12.5 (SF-12.5) | Single Family <br> Residential <br> (Windsong Ranch, <br> Phase 6A) | Medium Density <br> Residential |
| North | Planned Development-40 (PD- <br> $40)$ | Single Family <br> Residential <br> (Windsong Ranch, <br> Phase 8, 9, and 10) | Medium Density <br> Residential |
| East | Single Family-12.5 (SF-12.5) | Single Family <br> Residential (Park <br> Place) | Medium Density <br> Residential |
| South | Artesia | Artesia | High Density <br> Residential |


| West | Planned Development-40 (PD- <br> $40)$ | Single Family <br> Residential (Legacy <br> Garden) | Medium Density <br> Residential |
| :--- | :---: | :---: | :---: |

## Requested Zoning

The purpose of this request is to rezone Agriculture (A), a portion of Planned Development-40 (PD-40), and a portion of Single Family-12.5 (SF-12.5) to Planned Development-Single Family (PD-SF), generally to allow for a private residential development. The applicant is proposing 170 single family detached lots, the maximum number of lots with a density of 2.32 lots per acre.


Below is a comparison table outlining the proposed development standards that deviate from the minimum standard per the zoning ordinance. These do not include all the deviations. Based on the information below there is very little deviation from our SF-10 Zoning District to the proposed development standards. The applicant will enter into a development agreement for building materials. The applicant will follow the Town of Prosper exterior construction of residential buildings Section 9.8.

| Comparison Table Tract 1 |  |  |
| :---: | :---: | :---: |
|  | Town of Prosper SF-10 | New Planned Development |
| Minimum Lot Area | 10,000sqft | 10,000sqft |
| Minimum Lot Width | 80' | 80' |
| Minimum Lot Depth | 125' | 100' |
| Size of Yards | Front Yard 25' <br> Side Yard 8' Interior, 15' <br> Corner <br> Rear Yard 25' | Front Yard 25' <br> Side Yard 8' Interior, 15' <br> Corner <br> Rear Yard 25' |
| Minimum Dwelling area | 1,800 Square Feet | 2,400 Square Feet |
| Maximum Lot Coverage | 45\% | 50\% |
| Maximum Height | Two and a half stories, no greater than 40'. | Two and a half stories, no greater than 40'. |
| Garages | All homes shall have a minimum enclosed parking area (garage) of 400 square feet | All homes shall have a minimum enclosed parking area (garage) of 400 square feet |
| Exterior Materials | 1.The exterior facades shall be constructed of 100 percent masonry, unless otherwise specified in this ordinance. <br> 2.Cementatious fiber board is considered masonry, but may only constitute 50 percent of stories other than the first story. <br> 3. Cementatious fiber board may be used for architectural features, including window box-outs, bay windows, roof dormers, garage door headers, columns, or other architectural features approved by the Building Official. <br> Masonry Construction constitutes clay fired brick, natural and manufactured stone, granite, marble, and stucco as exterior construction materials for all structures | Follows Town of Prosper Requirements |

Future Land Use Plan - The Future Land Use Plan recommends Residential Medium Density. Residential Medium Density includes lot sizes that range between 12,500sqft and 20,000sqft in size. The density ranges between 1.6 dwelling units and 2.5 dwelling units. Although the lot sizes vary as mentioned in the Comprehensive Plan, the applicant is proposing a 2.32 density in dwelling units. Therefore, the proposed zoning request does conform to the Comprehensive Plan.

> Residential Medium Density
> Medium density residential is also representative of single family detached dwelling units. Lot sizes in medium density residential neighborhoods could range between 12,500 and 20,000 square feet in size. A variation in lot sizes may be permitted to achieve a goal range in density. While a variety of lot sizes may be used within medium density residential neighborhoods, the gross density of such developments will typically not be less than 1.6 dwelling units per acre or greater than 2.5 dwelling units per acre.


Thoroughfare Plan - The property is bounded to the west by Teel Parkway and north by Prosper Trail.

Parks Master Plan - Currently, the Parks Master Plan does not identify a park on the subject property. A 10' trail will be provided along Teel Parkway and Prosper Trail.

## Legal Obligations and Review:

Zoning is discretionary. Therefore, the Planning \& Zoning Commission is not obligated to approve the request. Notification was provided to neighboring property owners as required by state law. To date, staff has received 5 responses to the proposed zoning request.

## Attached Documents:

1. Aerial and Zoning Maps
2. Proposed Exhibits
3. Comprehensive Plan Future Land Use Types
4. Reply Forms

## Town Staff Recommendation:

Town Staff analyzed the request and recommends approval of the zoning request.

## Town Council Public Hearing:

Upon a recommendation by the Planning \& Zoning Commission, a Public Hearing for this item will be scheduled for the Town Council at their Regular meeting on June 27, 2023.



## Z21-0010

Prosper Hills




## Z21-0010

## Prosper Hills

# Submittal Document in Support of 

## Prosper Hills

(subject to name change prior to final approval)

## A Planned Development District

in the
Town of Prosper, Texas

June 1, 2023

## Table of Contents

| Page 3 | Exhibit "A" - Zoning Exhibit |
| :--- | :--- |
| Page 4 | Exhibit "B" - Legal Description |
| Page 6 | Exhibit "C" - Statement of Intent and Purpose |
| Page 7 | Exhibit "D" - Development Standards |
| Page 9 | Exhibit "E" - Concept Plan |

## EXHIBIT "A"

## Zoning Exhibit



## EXHIBIT "B" <br> Legal Description for Zoning <br> 73.417 ACRES

BEING a tract of land located in the L. NETHERLY SURVEY, ABSTRACT NO. 962, Denton County, Texas and being all of that tract of land described in Deed to Prosper Hills, LP, recorded in Instrument No. 2022-117712, Official Public Records, Denton County, Texas (O.P.R.D.C.T.) and being all of Lot 1, Block A, SEC TEEL-PROSPER ADDITION, an Addition to the Town of Prosper, Denton County, Texas, according to the Conveyance Plat of record filed in Cabinet 2022, Slide 310, Official Records, Denton County, Texas (O.R.D.C.T.) and described in Deed to Prosper Hills LP, recorded in Instrument No. 2022-52292, O.P.R.D.C.T., and being part of that tract of land described in Deed to Prosper 100 LP, recorded in Instrument No. 2019-21287, O.P.R.D.C.T., and being more particularly described as follows:

BEGINNING at a $1 / 2^{\prime \prime}$ iron rod found at the northeast corner of said Prosper Hills, LP tract and the northwest corner of said Prosper 100 LP tract;

THENCE S $00^{\circ} 12^{\prime} 38^{\prime \prime}$ W, along the east line of said Prosper Hills, LP tract and the west line of said Prosper 100 LP tract, passing a $1 / 2^{\prime \prime}$ iron rod found at a distance of 19.14 feet, and continuing in all for a total distance of 805.79 feet to a point for corner;

THENCE Leaving said east line of said Prosper Hills, LP tract, over and across said Prosper 100 LP tract, the following six (6) courses and distances:

S $30^{\circ} 13^{\prime} 29^{\prime \prime} \mathrm{E}$, a distance of 98.75 feet to a point for corner;
S $15^{\circ} 33^{\prime} 55^{\prime \prime} \mathrm{E}$, a distance of 92.94 feet to a point for corner;
S $19^{\circ} 11^{\prime} 38^{\prime \prime} \mathrm{E}$, a distance of 92.93 feet to a point for corner;
S $20^{\circ} 33^{\prime} 12$ " E , a distance of 93.06 feet to a point for corner;

S $15^{\circ} 53^{\prime} 05^{\prime \prime} \mathrm{E}$, a distance of 74.81 feet to a point for corner;
S $00^{\circ} 27^{\prime} 40^{\prime \prime} \mathrm{W}$, a distance of 243.63 feet to a point for corner on the south line of said Prosper 100 LP tract and the north line of Lot 3, Block X, ARTESIA NORTH PHASE 2, an Addition to Denton County, Texas, according to the Plat of record filed in Cabinet 2017, Slide 164, Plat Records, Denton County, Texas (P.R.D.C.T.);

THENCE N $89^{\circ} 32^{\prime} 20$ " W, along the north line of said Addition, a distance of 712.65 feet to a point for an interior ell corner of said Prosper Hills, LP tract and the northwest corner of said Addition;

THENCE S $00^{\circ} 03^{\prime} 28$ " W, a distance of 259.13 feet to a point for corner;

THENCE N $89^{\circ} 31^{\prime} 47{ }^{\prime \prime}$ W, a distance of $1,308.00$ feet to a point for the southwest corner of said Prosper Hills, LP tract;

THENCE N $00^{\circ} 08^{\prime} 41$ " W, a distance of 149.49 feet to a point for corner;
THENCE N $00^{\circ} 02^{\prime} 02^{\prime \prime} \mathrm{E}$, a distance of 699.00 feet to a point at the beginning of a curve to the left having a central angle of $28^{\circ} 21^{\prime} 58^{\prime \prime}$, a radius of 1002.46 feet, and a chord bearing and distance of N $14^{\circ} 12^{\prime} 49^{\prime \prime}$ W, 491.25 feet;

THENCE Along said curve to the left, an arc distance of 496.30 feet to a point on the centerline of Teel Parkway;

THENCE N $28^{\circ} 23^{\prime} 48^{\prime \prime}$, along said centerline, a distance of 270.09 feet to a point at the intersection of Teel Parkway and West Prosper Trail;

THENCE N $64^{\circ} 52^{\prime} 39^{\prime \prime}$ E, easterly along the centerline of said West Prosper Trail, a distance of 137.22 feet to a point at the beginning of a curve to the right having a central angle of $10^{\circ} 22^{\prime}$ $49^{\prime \prime}$, a radius of 800.48 feet, and a chord bearing and distance of $\mathrm{N} 70^{\circ} 04^{\prime} 03^{\prime \prime} \mathrm{E}, 144.82$ feet;

THENCE Along said curve to the right, an arc distance of 145.02 feet to a point at the beginning of a compound curve to the right, having a central angle of $04^{\circ} 27^{\prime} 58^{\prime \prime}$, a radius of 800.48 feet, and a chord bearing and distance of $N 77^{\circ} 29^{\prime} 27^{\prime \prime}$ E, 62.38 feet;

THENCE Along said compound curve to the right, an arc distance of 62.40 feet to a point at the beginning of a compound curve to the right, having a central angle of $09^{\circ} 40^{\prime} 15^{\prime \prime}$, a radius of 800.48 feet, and a chord bearing and distance of $N 84^{\circ} 33^{\prime} 34^{\prime \prime} \mathrm{E}, 134.95$ feet;

THENCE Along said compound curve to the right, an arc distance of 135.11 feet to a point;
THENCE N $89^{\circ} 23^{\prime} 51^{\prime \prime}$ E, continuing along said centerline of West Prosper Trail, a distance of 100.77 feet to a point;

THENCE N $89^{\circ} 23^{\prime} 41^{\prime \prime} \mathrm{E}$, a distance of $1,560.15$ feet to the POINT OF BEGINNING and containing 3,198,044.52 square feet, or 73.417 acres of land, more or less.

## EXHIBIT "C"

## Statement of Intent and Purpose for Prosper Hills, Town of Prosper, Texas

The purpose of this PD is to allow for the creation of a private single-family gated residential community that reflects the high-quality standards set forth by the town and citizens of Prosper, Texas. We anticipate these lots to be developed as individual custom homes. Located at the southeast corner of West Prosper Trail and Teel Parkway, Prosper Hills will be privately gated with private streets. Lot sizes will be a minimum of 10,000 square feet and will blend in with the surrounding developments.

## EXHIBIT "D" <br> Development Standards for Prosper Hills. Town of Prosper, Texas

Conformance with the Town's Zoning Ordinance and Subdivision Ordinance: Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance (as it currently exists or may be amended) and Subdivision Ordinance (as it currently exists or may be amended) shall apply.

## I. Prosper Hills Tract 1 - Single-Family Residential

A. General Description: This property may develop, under the standards for SF10 as contained in the Town's Zoning Ordinance as it exists or may be amended, as front entry lot product subject to the specific provisions contained herein below. There will be no alley-served lots within the property. The streets will be private gated streets.
B. Park: Parkland dedication shall be handled via cash in lieu of.
C. Density: The maximum number of single-family detached lots shall be 170. The maximum density allowed shall be 2.32 lots per acre.
D. Area and building regulations:

1. Single-Family Lots: Should a discrepancy exist between the City Zoning or Subdivision Ordinance and the standards within this PD, the language within shall prevail. The area and building standards for the single-family lots are as follows:
(a) Minimum Lot Area: 10,000 square feet.
(b) Minimum Lot Width: The minimum lot width shall be $80^{\prime}$ as measured along the front setback, except for lots located on a cul-de-sac, curve or eyebrow which may have a minimum width of $65^{\prime}$ at the front setback provided all other requirements of this section are met.
(c) Minimum Lot Depth: 100'
(d) Size of Yards:
(1) Minimum Front Yard: The front yard setback shall be twentyfive (25) feet on all single-family residential lots.
(2) Minimum Side Yard: $\mathbf{8}^{\prime}$ for interior yards. ${ }^{\prime \prime}$ ' on corner adjacent to a right-of-way.
(3) Minimum Rear Yard: 20'
(e) Minimum Dwelling Area: 2,400 square feet.
(f) Maximum Lot Coverage: 50\%
(g) Maximum Height: Two and a half stories, no greater than 40'.
(h) Garages: All homes shall have a minimum enclosed parking area (garage) of 400 square feet.
(1) Homes shall have a minimum of two car garages. Carports shall not be permitted.
(2) Front facing garages are permitted to extend to the front façade of the main structure but may not encroach into the required front yard.

## E. Entry Points \& Private Streets

1. Gated entries and private streets shall be allowed.

## EXHIBIT "E"

## Concept Plan



## COMMUNITY CHARACTER

## Land Use Types

## Residential Low Density

This land use is indicative of large-lot singlefamily homes. Typically speaking, lot sizes within any low density development will range between 15,000 square feet and $1+$ acre in size. While a variety of lot sizes may be used, the total gross density of low density residential neighborhoods should not exceed 1.6 dwelling units per acre. Large-lot homes will provide a continuation of the rural atmosphere and feel that was intensely expressed by Prosper's residents. Most low density residential areas will be located in Northwest and Northeast Prosper.


## Residential Medium Density

Medium density residential is also representative of single family detached dwelling units. Lot sizes in medium density residential neighborhoods could range between 12,500 and 20,000 square feet in size. A variation in lot sizes may be permitted to achieve a goal range in density. While a variety of lot sizes may be used within medium density residential neighborhoods, the gross density of such developments will typically not be less than 1.6 dwelling units per acre or greater than 2.5 dwelling units per acre.


## COMMUNITY CHARACTER

## Residential High Density

High density residential represents the most intense residential land uses permitted in Prosper. High density single family uses will consist of developments greater than 2.5 dwelling units per acre and lot sizes smaller than 10,000 square feet. Within Prosper, the high-density residential district is reflective of the Artesia development, where single family residential lot sizes and dwelling units per acre will be substantially higher than the rest of the community. High density residential may be located within the Dallas North Tollway, Highway 380, Town Center and Old Town Districts. In such areas, high density residential may take the form of multifamily or single family attached dwelling units and may include mixed-use lofts/apartments, patio homes, snout houses, brownstones and townhomes.


## Retail and Neighborhood Services

 Neighborhood services typically include retail establishments that provide merchandise for retail sale, banks, neighborhood office and small medical offices. Retail uses are particularly important because they contribute to Prosper's tax base through both property and sales taxes, making their inclusion attractive and often times competitive. Within Prosper, neighborhood service uses will likely occur at major intersections along the Dallas North Tollway, Highway 380 and Preston Road corridors. Neighborhood service uses should also be strategically placed along the Town's perimeter in order to attract patrons from neighboring communities, enhancing sales tax revenue opportunities. The majority of neighborhood service activity within Prosper will likely be included within the Dallas North Tollway, Highway 380, Town Center and Old Town districts.

## Dallas North Tollway District

The Dallas North Tollway district will consist of the most intense land uses within Prosper. A diverse mixture of office, retail and residential will likely develop along the corridor. Mid-rise office (up to 12 stories) may be permitted throughout the corridor. Office buildings should be designed for a "campus feel" - they should be oriented towards common public space with significant landscaping and should be linked by a pedestrian network. A common architectural theme should also be established for a consistent visual appearance. Mixed-use development should be encouraged and should contain a mixture of office, retail and residential uses. Mixed-use lofts/apartments would be the most appropriate residential use within this district. Structured parking should be encouraged in more intense areas to limit the presence and visibility of large parking lots. Structured parking should be oriented in a way that minimizes visibility from the Tollway.


Highway 380 District
Much like the Dallas North Tollway district, the Highway 380 district will contain a variety of different uses. The major contrast between Highway 380 and other districts will be the inclusion of a big box development and commercial service uses. Types of appropriate commercial include hotels, banks, vehicle refilling stations with a convenience store, home service centers with outside storage, garden center with outside storage and other similar uses which serve the community but are not necessarily desired on Preston Road or within the Dallas North Tollway corridor. Residential land uses may be appropriate within certain areas, particularly away from major intersections where retail and commercial will be the highest and best land use. Residential land uses may include patio homes, snout houses, townhomes and brownstones. These residential areas may serve as a buffer between more intense activity along Highway 380 and low density residential areas to the north.

## COMMUNITY CHARACTER

## Town Center District

The Town Center district is a continuation of the area defined by previous planning efforts as a future location for a large scale mixed-use development. The Town Center would include a mixture of land uses but development will be less intense than that located along Highway 380 and the Dallas North Tollway. Retail, small scale office, and residential uses would be included within this district, but the primary intent should be focused on dining and shopping. Public space should be a major component of this area, creating space for families and residents of Prosper to meet and socialize. Open space located within the Town Center could be used for community events, festivals and school events. Urban design should accommodate the pedestrian while providing automobile access and discreet
 parking. Residential uses may include mixeduse lofts/apartments, patio homes, townhomes and brownstones. Areas of single family residential may also be permitted, particularly on the northern side where the development abuts the Old Town district.

## Old Town District

The Old Town district is the heart of Prosper. This historic area of the community is intended to include a variety of boutique type land uses, ranging from unique and local retail establishments, restaurants and offices. Many of the historic homes within the Old Town district, particularly areas along First Street and Broadway, may gradually convert to boutique office and retail establishments. The most opportunistic possibility for a transit stop, if desired by future residents, would be within the Old Town district, which could facilitate redevelopment of the downtown area. If this occurs, high density residential options, such as live-above lofts/apartments, may be considered. The historic past of the community should be preserved. The community's beginnings as a farm community in rural Collin
 County are part of what defines Prosper, and these attributes should be preserved as new infill development occurs.

## Business Park

A Business Park district, located to the west of the BNSF Railroad between Prosper Trial and First Street, will include a variety of potential land uses including light industrial, commercial warehousing, office storage and commercial uses with outside storage. While outside storage will likely occur and be necessary within this district, significant effort should be placed on the visual integrity of the district, particularly when located in higher visibility areas. When such uses abut roadways, larger landscape setbacks, such as 40 feet setbacks, that include berms and evergreen shrubs/trees should be used to protect the visual integrity of roadways and the public view. All outside storage should also be screened from public view and from adjacent properties. The location of the BNSF railroad and close proximity to the Dallas North Tollway provide the Business Park with significant accessibility. Uses located along First Street, Prosper Trail and other perimeter areas should incorporate a higher degree of landscaping and architectural design in order to protect the visual integrity of Prosper's roadways.



A Place Where Everyone Matters

DEVELOPMENT SERVICES DEPARTMENT 250 W. First Street Prosper, TX 75078
Phone: 972-346-3502

REPLY FORM
SUBJECT:
Zoning Case Z21-0010: The Town of Prosper has received a request to rezone $69.9 \pm$ acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:
The property is located on the southeast comer of Prosper Trail and Teel Parkway.

I OPPOSE the request as described in the notice of Public Hearing. If in opposition, please provide a reason for opposition.
I DO NOT OPPOSE the request as described in the notice of Public Hearing.
COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY):
The A mans of tine Gent be repealed

view infront of our house.


$$
214-460-4086
$$

Phone Number



A Place Where Everyone Matters

DEVELOPMENT SERVICES DEPARTMENT 250 W. First Street Prosper, TX 75078 Phone: 972-346-3502

REPLY FORM
SUBJECT:
Zoning Case Z21-0010: The Town of Prosper has received a request to rezone 69.9士 acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:
The property is located on the southeast comer of Prosper Trail and Teel Parkway.

I OPPOSE the request as described in the notice of Public Hearing. If in opposition, please provide a reason for opposition.
I DO NOT OPPOSE the request as described in the notice of Public Hearing.
COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY):
1.) Does not meet FLUP requirement for Medium Density, reside.
2.) Need to know plans for existing pond
3.) Need to know plans for clearing/ Maintaining Flood Plainarea 4.) Need to know plans for exterior wall a long south border

$\qquad$
$\frac{\text { PROSPER Th }}{\text { City, State, and Zip Code }}$ ' $T \times 75078$

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407-664-5268
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Phone Number


FloridaHubersead.com
E-mail Address

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PROSPER
A Place Where Everyone Matters

## DEVELOPMENT SERVICES

 DEPARTMENT250 W. First Street
Prosper, TX 75078
Phone: 972-346-3502

## REPLY FORM

## SUBJECT:

Zoning Case Z21-0010: The Town of Prosper has received a request to rezone $69.9 \pm$ acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

## LOCATION OF SUBJECT PROPERTY:

The property is located on the southeast comer of Prosper Trail and Teel Parkway.



A Place Where Everyone Matters

DEVELOPMENT SERVICES DEPARTMENT 250 W. First Street Prosper, TX 75078
Phone: 972-346-3502

REPLY FORM
SUBJECT:
Zoning Case Z21-0010: The Town of Prosper has received a request to rezone $69.9 \pm$ acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:
The property is located on the southeast comer of Prosper Trail and Peel Parkway.

I OPPOSE the request as described in the notice of Public Hearing. If in opposition, please provide a reason for opposition.

- IDO NOT OPPOSE the request as described in the notice of Public Hearing.

COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY):

$\qquad$
$\qquad$


2313 Commons Way


$$
469-951-8466
$$

Phone Number


PRHONNER
A Place Where Everyone Matters

## DEVELOPMENT SERVICES

DEPARTMENT
250 W. First Street
Prosper, TX 75078
Phone: 972-346-3502

## REPLY FORM

## SUBJECT:

Zoning Case Z21-0010: The Town of Prosper has received a request to rezone $69.9 \pm$ acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:
The property is located on the southeast comer of Prosper Trail and Tee Parkway.

- I OPPOSE the request as described in the notice of Public Hearing. If in opposition, please provide a reason for opposition.
- I DO NOT OPPOSE the request as described in the notice of Public Hearing.

COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY):
Changeindensity, Concern with water nan off and
flood zone erosion, cone w th flodinghases


## Tommie Stokers

Name (please print)

16016 Greenbe It ParkIn.
Address
Prosper. TX 75078
City, State, and Zip Code

$\square$
tel, stoners 31e grail rom
E-mail Address

## A Place Where Everyone Matters

To: Planning \& Zoning Commission

## PLANNING

From: Doug Braches, Planner
Through: David Soto, Planning Manager
Re: $\quad$ Specific Use Permit - Wireless Communications and Support Structure Planning \& Zoning Commission Meeting - June 06, 2023

## Agenda Item:

Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a new Wireless Communications and Support Structure, on . $1 \pm$ acre, located on the south side of Prosper Trail, west of Preston Country Lane. (ZONE-22-0001)

Description of Agenda Item:
The zoning and land use of the surrounding properties are as follows:

|  | Zoning | Current Land Use | Future Land Use Plan |
| :---: | :---: | :---: | :---: |
| Subject <br> Property | Agricultural | Equestrian Center | Low Density Residential |
| North | Planned Development - 1 | Residential (Developed) | Low Density Residential |
| East | Agricultural | Residential (Developed) | Low Density Residential |
| South | Planned Development - <br> 90 | Not Developed | Low Density Residential |
| West | Planned Development -5 | Residential (Developed) | Low Density Residential |

Requested Zoning - The purpose of this request is to allow construction of a new 105' Wireless Communication and Support Structure. The Specific Use Permit shows four (4) Wireless Communication antennas that would be placed on the structure and their associated 50 ' by $50^{\prime}$ lease area. These antennas would be screened and not visible to the surrounding area. The
ground equipment is in an area currently screened with a CMU wall with stone veneer and living screen.

In 2020, The Town has completed a survey on areas of opportunities for wireless communication and support structures. The goal for this survey was to provide developers areas that were well suited for such use and to provide a comprehensive plan of communication towers for the Town of Prosper. These areas are potentially school sites, parks, or town properties. Regarding this specific request, this area is not one of those areas of opportunities. The applicant will provide reasoning during the presentation.

Wireless Communication Exhibit


## Legend

| Existing \& Proposed Stadium Lights | ISD Existing School | Town Facility |
| :--- | :--- | :--- | :--- |
| Existing Wireless Communication \& Support Structure | ISD Future School Site | Existing Water Tower |
| Proposed Wireless Communication \& Support Structure | Town Property | Proposed Water Tower |

Below are pictures of the site.



The Zoning Ordinance contains the following four (4) criteria to be considered in determining the validity of a SUP request.

1. Is the use harmonious and compatible with its surrounding existing uses or proposed uses?
2. Are the activities requested by the applicant normally associated with the requested use?
3. Is the nature of the use reasonable?
4. Has any impact on the surrounding area been mitigated?

Staff believes the applicant has satisfied the criteria and recommends approval of the request.
Future Land Use Plan - The Future Land Use Plan recommends Low Density Residential.

Thoroughfare Plan - This property currently has direct access to Prosper Trail.
Parks Master Plan - The Parks Master Plan does not indicate a park is needed on the subject property.

## Legal Obligations and Review:

Notification was provided as required by the Zoning Ordinance and state law. To date, staff has received one reply form in opposition.

## Attached Documents:

1. Aerial and Zoning Maps
2. Exhibits
3. Areas of opportunities map
4. Reply Form

## Town Staff Recommendation:

Town staff recommends approval of the Specific Use Permit request for a new Wireless Communications and Support Structure, on . $1 \pm$ acre, located on the south side of Prosper Trail, west of Preston Country Lane.



## ZONE-22-0001

Anthemnet Whispering Farms Unmanned



PROJECT
105'-0" TOWER
NEW STEALTH TELECOMMUNICATION STRUCTURE

## verizon

SITE NAME: WHISPERING FARMS
VZW FUZE ID \#: 16942148
VZW SITE ID \#: 617290751

SITE ADDRESS
1010 PRIVATE ROAD 5569
APN: 2846021
PROSPER, TX 75078
COLLIN COUNTY
$33.247500^{\circ}$, $-96.752083^{\circ}$

LEGAL DESCRIPTION
WHISPERING FARMS EQUESTRIAN CENTER
BEING LOT 1, BLOCK A, WHISPERING FARMS EQUESTRIAN CENTER AdDITION, ACCORDING TO THE FINAL PLAT THEREOF RECORDED IN VOLUME 2021 PAGE 626, UNDER FILE NUMBER 20211028010003870 OF THE PLAT RECORDS OF COLIN COUNTY, TEXAS, AND BEING THE 26.508-ACRE TRACT OWNED BY

BOILERMARKER ROCKHILL, LLC AS RECORDED UNDER COLLIN COUNTY CLERK'S FILE NUMBER 20210302000400650 OF THE DEED RECORDS of collin county, texas

SCOPE OF WORK
NEW CELLULAR COMMUNICATIONS SITE
WITH 105' HIGH STEALTH WATER CELLULAR TOWER
NEW 50'x50' CELL SITE COMPOUND
NEW 8' HIGH SCREEN WALL
NEW ELECTRIC AND FIBER SERVICE TO SITE
NEW COMMUNITY RACK FOR POWER/TELCO DEMARCS

- NEW 105' HIGH STEALTH WATER TOWE
- NEW VERIZON WIRELESS EQUIPMENT


PROJECT SUMMARY
SITE INFORMATION


Elevaton: 703.9' A.M.s.l.
PROPERTY OWNER
BOILERMAKER ROCKHILL. LLC
1010 PRVVATE R RAA 5569
${ }^{10100 \text { ORVVAEE ROAO }} 5569$
APPLICANT
${ }^{\text {ANTHEMNET, NC. }}$
5944 LUHHER LANE SUTE 72

PHONE: $512-539-7151$
SURVEYOR

PHHNE: 832-510-9621
ENGINEER CONSULTANT
allpro consulting croup, inc.

DALLLS, TEXAS 75243
OFFICE: (972) 231-8893



SHEET INDEX
$\begin{array}{ll}\text { T-1 } & \text { EXHBBIT - TITLE PAGE } \\ \text { SURVEY } & \text { EXHBITT A }- \text { (BY OTHERS) }\end{array}$ SHEET 1 of 2
SHEET 2 of 2
EXXIITI B - OVERALL SITE PLAN
$\begin{array}{ll}\text { Z-1 } & \text { EXHBIIT B - OVERALL SITE PLAN } \\ \text { Z-2 } & \text { EXHBIT B B ENLARGED SITE PLAN } \\ \text { E-3 } \\ \text { EXHBIT B - COMPOUND SITE PLAN }\end{array}$
EXHBIT B - COMPOUND SITE PLAN
EXHBITT C - LANDSCAPE PLAN
EXXBIT D - ELEVATION \& ANTENNA PLAN EXHBIT D - FACADE ELEVATION EAST/WEST

TEXAS ONE CAL $\frac{\text { CONTRACTOR TO CAL } 48}{\text { HOURS DEFORE OCGGNCI }}$
 PHONE: (800) $545-6005$
NODEENOENT LOCAORSS No be USED ON ALL SITES


EXHIBIT
ZONE-22-0001
'WHISPERING FARMS'
105'-0" TOWER
NEW STEALTH telecommunication STRUCTURE
$\xrightarrow{\text { OUMNER }}$ $\frac{\text { LEGAL DEESCRPTITON }}{\text { WWHISPERIGG FARMS }}$

HNT 1, BLOCK A

TOWN Of PROSPR
1010 PRIVATE ROAD 559 PROSPER, TX 75078
SHEET TILE
COVER PAGE
T-1


## EESSEE'S PROPOSED 50'X50' PREMISES DESCRIPTION:

## EING A LESSEES PROPOSED 50X50' PREMISES CONTANING O.O574 ACRES ( $2,500.00$ SQUARE FEET) OF LAND LOCATED IN THE SPENCER GRAHAM SURVEY, ABSTRACT NO. 359, COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART OF A TRACT OF LAND OWNED BY BOILLRMAKER

 ROCKHLLL LLC AS RECORDED IN FILE NUMBER 20210302000400650 OF THE DEED RECORDS OF COLLN COUNTY, TEXAS, AND BEING OUT OF ANDPART WHIISPERING FARMS EQUESTRAN CENTER ADDTTION, LOT 1 , BLOCK A, AS RECORDED IN VLUME 2021, PAGE 626 OF THE PLAT RECORDS

COMMENING AT A FOUND 1/2" IRON ROD, BEING AN INTERIOR WESTERLY CORNER OF SAID LOT 1 , BLOCK A, AND HAVING A STATE PLANE
COORDINATE VALUE OF $X=2,502,805.57(E), Y=7,140,976.71$ (N); THENCE NORTH 01 DEGREES 08 MINUTES 29 SECONDS EAST, 285.99 FEET TO THE POINT OF BEGINNING AND NORTHWEST CORNER OF THE

CONDS EAST, 50.00 FEET TO THE NO
HENCE SOUTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 50.00 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;
THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS WEST, 50.00 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT
THENE NORTH OO DEGREES 27 MINUTES 42 SECONDS WEST, 50.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0574 ACRES (2,500.00
SQUARE FEET) OF LAND.

## LESSEE'S PROPOSED $25^{\circ} \times 50^{\circ}$ ACCESS, UTLITY \& FIBER EASEMENT DESCRIPTION:


 CEAS, AND BEING OUT OF AND PART WHSPERING FARMS EQUESTRIAN CENTER ADDITION, LOT 1, BLOCK A, AS RECORDED BOUNDS AS FOLLOWS WITTH
AMERICAN DATUM OF 1983:
COMMENCING AT A FOUND $1 / 2$ " IRON ROD, BEING AN INTERIOR WESTERLY CORNER OF SAID LOT 1 , BLOCK A, AND HAVING A STATE PLANE
COORDINATE VALUE OF $X=2,502,805.57$ (E), $Y=7,140.976 .71$ (N). THENCE NORTH 01 DEGREES 08 MINUTES 29 SECONDS EAST, 285.99 FEET TO THE POINT OF BEGINNING AND SOUTHWEST CORNER OF THE Thence north 00 DEGREES 27 MINUTES 42 SECONDS WEST, 25.00 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIIEED TRACT THENCE SOUTH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 50.00 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT THENCE SOUTH OO DEGREES 27 MINUTES 42 SECONDS EAST, 25.00 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS WEST, 50.00 FEET TO THE POINT OF BEGINNING, CONTAIING 0.0287 ACRES ( $1,250.00$
SQUARE FEET) OF LAND.

## LESSEE'S PROPOSED LANDSCAPE BOUNDARY DESCRIPTION:




COMMENCING AT A FOUND 112 " ROO RRD, BEING AN INTERIOR WESTERLY CORNER OF SAID LOT 1 , BLOCK A, AND HAVING A STATE PLANE
COOROINATE VALUE OF $X=2,520,805,57$ ( ( ) , Y Y $7,140,976,71$ ( (N): COORDNATE VALUE OF $X=2,502,805.5$ ( (E), $==7,140,976.71$ ( $)$ ):
THENCE NORTH O1 DEGREES O8 MINUTES 29 SECONDS EAST, 285.99 FEET TO THE POINT OF BEGINNING AND INTERIOR CORNER OF THE HEREIN
DESCRIBED TRACT, HAVING A STATE PLANE COORDINATE VALUE OF $=2,502,803.27(E)$, $Y=7,141,262.67$ (N);
THENCE SOUTH OO DEGREES 27 MINUTES 42 SECONDS WEST, 50.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT; THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 50.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT; THENCE NORTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 50.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS WEST, 18.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT THENCE NORTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 5.00 FEET TO A NORTHERLY CORNER OF THE HEREIN DESCRIBED TRACT; THENCE SOUTH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 23.00 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT HENCE SOUTH 00 DEGREES 27 MINUTES 42 SECONDS WEST, 60.00 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRAC THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS WEST, 60.00 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT THENCE NORTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 60.00 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT ; THENCE SOUTH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 23.00 FEET TO A NORTHERLY CORNER OF THE HEREIN DESCRIBED TRACT HENCE SOUTH OO DEGREES 27 MINUTES 42 SECONDS WEST, 5.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT, THENCE NORTH 89 DEGRES 49 MINUTES 43 SECONDS WEST, 18.00 FEET TO THE POINT OF BEGINNING, CONTAIING 0.0236 ACRES ( $1,030.00$
SQUARE FEET) OF LAND.

## general notes:

ALL BEARINGS ARE GRID BEARNGS BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN
DATUM OF 1983 AND ARE ROUNDED TO THE NEAREST SECOND. ALL DISTANCES ARE REPRESENTED IN GRID VALUES, BASED ON SAID HORIZONTAL DATUM AND ARE MEASURED IN US SURVEY FEET TO THE NEAREST HUNDREDTH OF FOOT
2. ELEVATIONS ARE BASED on the north american vertical datum of 1988 (GEOID18) AND ARE determined to the nearest tenth of
3. PROVIDED ELEVATIONS, LATTUDE AND LONGITUDE VALUES ARE FROM GPS OBSERVATIONS (TYPE OF EQUIPMENT: TRIMBLE R2-TDC600, DATE
OF SURVEY: 061712022 .
4. BASIS OF BEARING: GPS OBSERVATIONS CONDUCTED AT THE TIME OF THE SURVEY
5. basis of elevation: Gps observations conducted at the time of the survey.
6. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY AND NO BOUNDARY SURVEY OF THE PARENT TRACT WAS PERFORMED.
7. THIS SURVEY CONTANS A DRAWING AND A METES \& BOUNDS DESCRIPTION FOR A LESSEE'S PROPOSED 50'X50' PREMISES AND A LESSEE'S

. THIS SURVEY WAS BASED on Information found in the abstractor certificate issued by texas abstract services, control no. 23048, DATED JULY 20, 2022.
9. No WetLand Areas have been investigated by this specific surver.
10. ALL ZONING INFORMATION SHOULD BE VERIFIED WITH PROPER ZONING OFFICIALS
11. UTLLITY EASEMENTS AS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS CONDUCTED ON O6/17/2022. UNDERGROUND UTLITIES MAY
EXIST AND WERE NOT PHSIICALLY LOCATED AS A PART OF THIS SURVEY.
12. AT THE TIME OF THE SURVEY, THE LESSEES PROPOSED 50X55' PREMISES, THE LESSEES PROPOSED 25X50' ACCESS, UTILTY \& FIIEER EASEMENT, AND THE LESSEE'S PROPOSED LANDSCAPE BOUNDARY LIED W WTHIN AN UNSHADED AREA OF MNIMAL
ACCOROING TO FEMA FIRM PANEL MAP NUMBER 48085CO235J, EFFECTVE O6/(O22009 (TOWN OF PROSPRR, TEXAS).
13. LESSEES'S PROPOSED PREMISES, LLSSSEE'S PROPOSED EASEMENT, AND LESSEES PROPOSED LANDSCAPE BOUNDARY PLACEMENT ARE PER
LAND OWNER, AEE, OR CUSTOMER DIRECTON AND DO NOT REFLECT ENGINEERING OR REAL ESTATE ASSESSMENT BY 3 D DESIGN AND


## easements:

EASEMENTS HEREON WERE LISTED IN THE ABSTRACTOR CERTIFLCATE ISSUED BY TEXAS ABSTRACT SERVICES, CONTROL NO. 23048, DATED
ULY 20 2022:
 PARENT TRACT, BUT ARE NOT LOCATED WITHIN THE LESSEE'S PROPOSED 50 X50' PREMISES, THE LESSEE'S PROPOSED 25X50'ACCESS, UTLITY \& FIBER EASEMENT, NOR THE LESSEE'S PROPOSED LANDSCAPE BOUNDARY
2. RIGHT-OF-WAY EASEMENT DATED JANUARY 25, 1946 GRANTED TO DENTON COUNTY ELLECTRIC COOPERATVE, INC. RECORDDD IN VOLUM
467. PAGE 388 OF THE DEED RECORDS OF COLLLIN COUNTY, TEXAS. (HE DEED DOES NOTHAVE SUFFICIENT DATA TO DETERMNE THE 467, PAGE S38 OF THE D
EASEMENTLOCATION)
3. FORTY (40) FOOT WIDE PERPETUAL PRIVATE ROAD EASEMENT AND RIGHT-OF-WAY AS SET OUT IN DEED OF EASEMENT WTH COVENANTS
DATED APPRLL 1,1981 AS RECORDED IN VOLUME 1374 , PAGE 312 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS. (THE LOCATED WITHIN THE PARENT TRACT. BUT IS NOT LOCATED WITHIN THE LESSEES PROPOSED 50X50' PREMISES, THE LESSEESS SROPOSED珹
4. ACCESS EASEMENT DATED JANUARY 24,2006 GRANTED TO THE TOWN OF PROSPER, TEXAS AS RECORDED IN FLLE NUMBER

5. ACCEES EASEMENT AS SET OUT IN CURRENT OWNERSHIP DEED TO BOILEMAKER ROCKHLLLLLLC, LATED MARCH 1, 2021 AS RECORDED IN



ANTHEMNET, INC.
5944 LUTHER LANE
DALLAS, TX 5 5225
PHONE: $512-539-7151$






NOTES:

1. ALL DISTURBED SOLL OUTSIDE OF PROPERTY LINES WLL BE GRADED, TUR
2. INSTALL 5 WIDTH LANDSCAPE BED, LINED WTH STEEL EDGING OR OTHER
approved line of demarcation.
3. INSTALL LARGE EVERGREEN UPRIGHT SHRUBS (FULL TO GRound) W/ growth - MINMUM 4' HEIGHT AT PLANTING THE PERIMETER MASONRY WALL.

MINMUM 4' HEICHT AT PLANTING
$-5^{\prime}-0^{\prime \prime}$ O.C. SPACING

- MNIMUM $3^{3 \prime}$ MULCH

4. water dally for the first week after planting, then twce a week

AFTERWARD UNTL THEY ARE ESTABUSHED.

| QTY. | COMmON NAME | botanical name | SIZE/REMARKS |
| :---: | :---: | :---: | :---: |
| 40 | Nellie R Stevens Holly | llex x 'Nellie R. | WELL BRANCHED, MIN. HEIGHT OF 4'-O" AT TIME OF PLANTING. |



General planting notes

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERALL, FREE OF PEST AND DISEASE.
2. ALL PLANTS MUST BE HEALITYY, VIGOROUS MATERALL, RREE OF PEST AND DIISEASE.
3. ALL TREES MUST be straight trunked, Full headed and meet all requirements SPECIFED.
ALI TREES
4. ALL TREES must be guyed or staked as shown
5. ALL PLANTS AND PLANTNG AREAS MUST BE COMPLETELY MULCHED as SPECIFED. PRIOR TO CONSTRUCTION, the contractor shall be responsible for locating UNDERGROUND UTLITIES AND SHALL AVOID DAMAGE TO UTLLTIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE
CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERFYING ALL QUANTTTES SHOWN on the
7. THE CONTRACTOR

BUt Not limite to responsible for fully mantaning all planting (INCLUDINg, Bu not lim ted to: watering spraying, mulching, fertilzation, etc.) of
plantingarea and laws untl The work is accepted in total by the REPRESENTATVE.
10. The owner agrees to perform all landscape mantenance (incluoing Watering) throughout the one year guarantee period unless otherwis determined.
11. the contractor shall completely guarantee all plant material for a period OF ONE (1) YEAR BEGINNNG AT THE DATE OF TOTAL ACCEPTANCE, THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS before or at the end of the GUaRantee period.
12. the contractor representative wll approve the staked location of all plant material prior to instalation.
13. ANY PLANT Material that dies, turns brown or defolates (prior to total acceptance of the work) shall be promptly removed from the site and replaced by contractor with material of the same species, quantity, size and meetng all specifications.
14. STANDARdS SET FORTH in "American standard for nursery stock", latest EDITION, REPRESENT GUIDELINE SPECCIFCATIONS ONLY AND SHALL CONSTITUTE MNIMUM QUaLIT Requirements for plant material
15. all trees protection measures shall be installed prior grading.


EXHIBIT C
ZONE-22-0001
'WHISPERING FARMS
105'-0" TOWER
NEW STEALTH TELECOMMUNICATION STRUCTURE
$\xrightarrow{\text { OUNVER }}$
LEGAL DESCRIPTTON




OLIN CONNTT,TX

SHEET TILE
landscape plan
LS-1




## Wireless Communication Exhibit



## Legend

Existing \& Proposed Stadium Lights

Existing Wireless Communication \& Support Structure
Proposed Wireless Communication \& Support Structure

ISD Existing School
ISD Future School Site
Town Property

Town Facility
Existing Water Tower
Proposed Water Tower

This map is produced for informational purposes only and is intended to only depict public properties that could be considered for wireless communication considered for wireles
sites.

## A Place Where Everyone Matters

To: Planning \& Zoning Commission

## PLANNING

From: Doug Braches, Planner
Through: David Soto, Planning Manager
Re: $\quad$ Planning \& Zoning Commission Meeting - June 06, 2023

## Agenda Item:

Conduct a Public Hearing and consider and act upon a request to rezone $0.3 \pm$ acres from Single Family-15 (SF-15) to Downtown Retail (DTR), on Lots 3-5. (ZONE-23-0001)

## Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

|  | Zoning | Current Land Use | Future Land Use Plan |
| :---: | :---: | :---: | :---: |
| Subject <br> Property | Single Family-15 | Residential | Downtown Retail |
| North | Single Family-15 | Residential | Downtown Retail |
| East | Downtown Retail | Office/Service | Downtown Retail |
| South | Downtown Retail | Retail | Downtown Retail |
| West | Single Family-15 | Residential | Downtown Retail |

Requested Zoning - The purpose of this request is to rezone the property to the Downtown Retail District to allow for development of a commercial retail building in the future. The existing house is planned to be removed to allow construction of a new building. At the time of an application for "straight" zoning, the applicant is not required to submit an exhibit depicting how the property will be specifically developed or elevations of the proposed building. Prior to development, the developer will be required to submit a Site Plan for review and approval by the Planning \& Zoning Commission. The applicant has been advised of the standards necessary for development.

Future Land Use Plan - The Future Land Use Plan recommends Downtown Retail. The proposed zoning request conforms to the Future Land Use Plan.

Thoroughfare Plan - This property currently has direct access to Main Street.
Parks Master Plan - The Parks Master Plan does not indicate a park is needed on the subject property.

## Legal Obligations and Review:

Notification was provided as required by the Zoning Ordinance and state law. To date, staff has received one reply form.

## Attached Documents:

1. Aerial and Zoning Maps
2. Exhibit A
3. Reply Form

## Town Staff Recommendation:

Town Staff has observed the site and its surrounding environment. Currently, there are nonresidential uses to the east along Coleman Street and to the south along Main Street. Staff understands that there are numerous non-residential uses within the surrounding area. Furthermore, it is recommended, per the Comprehensive Plan, for Downtown Retail uses. The zoning request would be consistent with the uses in the surrounding area. As a result, staff recommends approval of this zoning request.

## Town Council Public Hearing:

Upon a recommendation by the Planning \& Zoning Commission, a Public Hearing for this item will be scheduled for the Town Council at their Regular meeting on June 27, 2023.



## ZONE-23-0001

Rezoning for 106 North
Main Street, from Single F



DEVELOPMENT SERVICES
DEPARTMENT
250 W. First Street
Prosper, TX 75078
Phone: 972-346-3502
A Place Where Everyone Matters

## NOTICE OF PUBLIC HEARING - PLANNING \& ZONING COMMISSION

SUBJECT:
Zoning Case ZONE-23-0001: The Town of Prosper has received a request to rezone for106 N. Main Street, from Single Family-15 (SF-15) to Downtown Retail (DTR), on Lots 3-5, Block 2, on .3土 acres.

## LOCATION OF SUBJECT PROPERTY:

The property is located south of Fifth Street and east of Main Street.

## LOCATION OF PUBLIC HEARING:

The Planning \& Zoning Commission will be convened, and individuals will be able to address the Commission (1) via telephone conference call, or (2) via videoconference. Information regarding telephone conference call and videoconference will be provided on the Planning \& Zoning Commission Agenda, which will be posted on the Town website (www.prospertx.gov) and at Town Hall a minimum of 72 hours prior to the Public Hearing.

## DATE \& TIME:

Tuesday, June 6, 2023-6:00 p.m.
If the Planning \& Zoning Commission makes a recommendation to Town Council regarding the rezoning request, in accordance with the Town's Development Schedule, a Public Hearing for this item would be scheduled for Town Council at their Regular Meeting on Tuesday, June 27, 2023.

## QUESTIONS:

If you have any questions regarding this notice, please contact Doug Braches, Planning Technician, at the Town of Prosper Development Services office, 250 W. First Street, by phone at (972) 569-1097, or by email at dbraches@prospertx.gov.


A Place Where Everyone Matters

DEVELOPMENT SERVICES DEPARTMENT 250 W. First Street Prosper, TX 75078 Phone: 972-346-3502

REPLY FORM
SUBJECT:
Zoning Case ZONE-23-0001: The Town of Prosper has received a request to rezone for 106 N. Main Street, from Single Family-15 (SF-15) to Downtown Retail (DTR), on Lots 3-5, Block 2, on .3土 acres.

LOCATION OF SUBJECT PROPERTY:
The property is located south of Fifth Street and east of Main Street.

- I OPPOSE the request as described in the notice of Public Hearing. If in opposition, please provide a reason for opposition.
I DO NOT OPPOSE the request as described in the notice of Public Hearing.
COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY):
Please provide the $P_{\&} Z$ case number so I may track it for site plan. I would like to Know the derail tenant.
$\qquad$


9508 SANDlewool Dr
Address


972.207-6448

Phone Number

A Place Where Everyone Matters

To: Planning \& Zoning Commission

## PLANNING

From: Doug Braches, Planner
Through: David Soto, Planning Manager
Re: $\quad$ Specific Use Permit - Wireless Communications and Support Structure Planning \& Zoning Commission Meeting - June 06, 2023

## Agenda Item:

Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a new Wireless Communications and Support Structure, on . $1 \pm$ acre, located on the south side of Frontier Parkway, west of Talon Lane. (ZONE-23-0008)

## History:

Since the proposed use is on Town property, a lease agreement was signed between the applicant and the Town of Prosper in early 2023.

Description of Agenda Item:
The zoning and land use of the surrounding properties are as follows:

|  | Zoning | Current Land Use | Future Land Use Plan |
| :---: | :---: | :---: | :---: |
| Subject <br> Property | Agricultural | Athletic Stadium | Low Density Residential |
| North | Agriculture | Park Land | N/A |
| East | Commercial | Non-Residential <br> Developed | Medium Density <br> Residential |
| South | Agriculture | Park Land | Medium Density <br> Residential |
| West | Agriculture | Park Land | Medium Density <br> Residential |

Requested Zoning - The purpose of this request is to allow construction of a new 100' Wireless Communication and Support Structure. The Specific Use Permit shows two (2) Wireless Communication antennas that would be placed on the structure and their associated 10' by 15' lease area.

In 2020, the Town completed a survey on areas of opportunities for wireless communication and support structures. The goal for this survey was to provide developers areas that were well suited for such use and to provide a comprehensive plan of communication towers for the Town of Prosper. These areas are potentially schools, sites, parks, or town properties. Regarding this specific request, this area is within one of those areas of opportunities.


## Below are pictures of the site.




The Zoning Ordinance contains the following four (4) criteria to be considered in determining the validity of a SUP request.

1. Is the use harmonious and compatible with its surrounding existing uses or proposed uses?
2. Are the activities requested by the applicant normally associated with the requested use?
3. Is the nature of the use reasonable?
4. Has any impact on the surrounding area been mitigated?

Staff believes the applicant has satisfied the criteria and recommends approval of the request.
Future Land Use Plan - The Future Land Use Plan recommends Medium Density Residential
Thoroughfare Plan - This property currently has direct access to Frontier Parkway.
Parks Master Plan - The Parks Master Plan does not indicate a park is needed on the subject property.

## Legal Obligations and Review:

Notification was provided as required by the Zoning Ordinance and state law. To date, staff has not received any reply forms.

## Attached Documents:

1. Aerial and Zoning Maps
2. Exhibits
3. Areas of opportunities map

## Town Staff Recommendation:

Town staff recommends approval of the Specific Use Permit request for a new Wireless Communications and Support Structure, on . $1 \pm$ acre, located on the south side of Frontier Parkway, west of Talon Lane.

## Town Council Public Hearing:

Upon a recommendation by the Planning \& Zoning Commission, a Public Hearing for this item will be scheduled for the Town Council at their Regular meeting on June 27, 2023.



## ZONE-22-0001

Anthemnet Whispering Farms Unmanned




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5＇UTLITY EASEMENT





 THENCE through the interior of soid Lot 1 R the following two
courses：
1．North 08 degres 44 minutes 37 seconds West，a distance
2．North 44 deqrees 59 minutes 23 seconds West，$a$ distance THENCE continumg through the interior of soid Lot 1 R the
following four（ 4 ）courses：


3．North 46 degress 00 minutes 37 seconds East，a distance


## s＇coax Easemer






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THENCE throus
（3） courses：
North 08 degrees 44 minutes 37 seconds west $a$
North 46 degrees 00 minutes 37 seconds East，a distonce
3．South 08 deerees 44 minutes 37 seconds East，distance

LEASE AREA \＃2
SElNG A．froct of land situated in the Collin County School Lond


 nol
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 Minutes o9 seconds West，of
POINT OF BEEMNNING herooff：
THENCE thro
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South 08 degress 44 minutes 37 seconds Esst，a distonce
of 8.87 teet to a Pointi
2．South 81 degrees 15 minutes 23 seconds West，a distance
3．North 08 degreses 44 minutes 37 seconds West，a distonca



 Right of Way by Vriginia Shipley，a widow to Lone Star Gas
Compony，a Corporation，dateo $8 / 15 / 1955$ recorded $12 / 16 / 1955$, in book 507 page 364．Does not offect the subject troct． Easement by Prosper Independent School District to county of
Coling，oting byo ond through collin
count commisioners Court，




















## Configuration 56790EAH_SR_T

* For 5G and LTE Airscale BB dimensioning refer to Fiber Port matrices. (Alpha, Beta \& Gamma)





Trunk Cable General Specifications (6AWG) $>250^{\prime}$




Bottom Junction Box General Specifications



## Airscale Dual RRH 4 T4R B12/71 240W AHLOA



| duct code 474331 A |  |
| :---: | :---: |
| Supported fequency band | 3 3 P Pand 1271 |
| Frequencies |  |
| Number of fx/exp patss/pipes |  |
| Instantaneous bandwidh bw |  |
| Occupied Sandwidth osw |  |
| Output Power | sow per TX Stared beween bands |
| Supply Votaget Range | $0 \mathrm{C} 48 \mathrm{~V} / 38 \mathrm{~V}$ to 600 |
| Typical Power Consumption |  |
|  |  |
| Anterna Ports | 4.asts, 43-10+ |
| Optical Ports | 2x.crer 98.6 bp |
| ALL Control hitefaces |  |
| Other intefaces | ExternalAlarm MDR-26 (4 inputs, 1 Dutput: |
| Physial | $560 \mathrm{~mm} \times 308 \mathrm{~mm} \times 189 \mathrm{~mm}$ $\qquad$ |
| Operatigs Temperature Range |  |
| Surge Protection | Clastl 5 S |
| Install | Pote. Woll feok Maunt |

## FFVV-65C-R3-V1

|  | 8 -port sector antenna, $4 \times 617-894$ and $4 \times 1695-2690 \mathrm{MHz}, 65^{\circ}$ HPBW, 3x RET |
| :---: | :---: |
| (0) a 0 a |  |
| General Specifications |  |
| Amenna Type | Sertor |
| Band | Mutiband |
| Color | Light gay |
| Effeetive Projective Area (FPA), frontal | $0.99 \mathrm{~m}^{2} \mid 10.656 \mathrm{tr}^{2}$ |
| Effective Projective Area (FPA), 1ateral | $0.33 \mathrm{~m}^{2} \mid 3.552$ tr ${ }^{\text {che }}$ |
| Grounding Type | RF connector inner conductor and body grounded to reflector and mounting bracket |
| Periomance Note | Outdoor usage |
| Radome Material | Fibergass, Uveestiant |
| Radialor Material | Low loss circuit board |
| Reflector Material | Aluminum |
| RF Connector Interace | 43-10 Female |
| RF Connector Location | Botom |
| RF Connector Ouantity, high band | 4 |
| RF Connector Quantity, low band | 4 |
| RF Connector Quantit, total | 8 |
| Remote Electrical Till (RET) Information, General |  |
| Ret inerface | 8.pin oin Female 18 ppin Din male |
| RET Interface, quantity | 1 female 11 male |
| Dimensions |  |
| Widh |  |
| Deph | $235 \mathrm{~mm} / 9.252 \mathrm{in}$ |



## System Weight

Before you start, ensure that the mounting surface is capable of supporting the weight of the system. The weight of the various components of the 3931 is described in 39XX/51XX Product Fundamentals. Table 2-1 summarizes the weight of the mounting kits.
Table 2-1
Mounting System Weight Summary

| Component | Weight (lbs) | Weight (kg) |
| :--- | :---: | :---: |
| H-Frame Mounting Kit | 3.90 | 1.77 |
| Pole Mount Kit | 9.77 | 4.43 |
| 3931 (with all internal components) | 28.5 | 12.96 |

## Chassis Size

The size of the 3931 enclosure and attached mounting bracket are summarized in Table 2-2.

Table 2-2
3931 Dimension Summary

| Dimension | Size (inches) | Size (cm) |
| :--- | :---: | :---: |
| Width | 16.8 | 42.67 |
| Height | 17 | 43.18 |
| Depth | 7 | 17.78 |
| Door clearance | 17.5 | 44.45 |

Note: The chassis should be mounted a minimum of 2 feet 6 inches $(76.2 \mathrm{~cm})$ above grade .

## Mounting Height Requirement

The unit should be installed so that the bottom of the 3931 is at least 2 feet 6 inches ( 76.2 cm ) above grade.



ELECTRICAL NOTES







 SHOULD THERE EE ANY CUESTION OR RROBLLEM CONCERNING THE NECESSARY PROUSIONS TO BE MAAE, PROPFRE DIRECTONS SHALL BE


ALL WRES Shall be stranded copper wit thin/thwn and 600 volis insulation. all ground conouctors to be properly sized


all electrical equipment shall be anchored to wthstand 100 m.p.f. wnd speed and desined for outdoor exposure.
 FUSE TYPE SHALL BE BUSSMAN RKI LOW PEAK FUSE (LPU-RK-100)
UPON COMPLETION OF THE JOB, the contractor shall funnsh as-bullt drawncs to the owner

 SUPPLEMENTAL CROU CONTEROIS,

1) CUFER GROUND,
2) 






16. COntractor to color phase conouctors black (B Phase), Red (A phase), whit (neutral), and green (cround). 7. CONTRACTOR TO PROVDE GUTTER TAP



## E



ALLPRO
cin




DA03931D PISD SPORT COMPLEX
(STADIIM AND NATATORUM)

1240 W FRONTIER
ROSPER, TX 75078

SHEET
OWER PLAN
E $=1$

## 



3. All work shal be Executed in a worknan lie Manver and shal present a neat Mechancal appearance when coupleced contractor sholl avold danage to






8. ALL WRES SHALL BE STRANDED COPPER wTH THHN/THWN AND 600 VoLTs INSLLATION. ALL Ground conouctors to be properly size copper. (Stranoed or solid.




13. FUSE TYPE Shall be bussman rki low peak fuse (LPu-rk-100).
14. UPON completion of the Job, the contractor shall furnsh as-bult dramings to the owner



1) COUNTERPOISE,
2) UFER GROUND ROD AND /OR GROUND WEL IN EXTREMELY ADVERE SOLL CONDITIONS. WHERE THE EXISTING BULLDNG STELL DOES NOT PRONDE AN EFFECTVE GROUND RESISTANCE,





17. Coniractor to provde guiter tap.

| EA OF SPACE (164) | Service voltage 120/20V 10 |  |  |  |  |
| :---: | :---: | :---: | :---: | :---: | :---: |
|  | CONNECTED LOAD |  | DEMANDFACTOR | demand load |  |
|  | kVA | Amps |  | kVA | AMPS |
| LIGHTING (175W HPS) | 0.57 | 2.38 | 1.0 | 0.57 | 2.38 |
| RECEPTACLES (1) | 1.06 | 4.42 | 1.0 | 1.06 | 4.42 |
| STTE SUPPORT CABINET | 9.0 | 37.6 | 1.0 | 9.0 | 37.6 |
| TELCO PANEL | 0.12 | 1.0 | 1.0 | 0.12 | 1.0 |
| DEMAND LOAD |  |  |  | 19.75 | 45.4 |
| LIGHTING x 0.25 |  |  |  | 0.14 | 0.6 |
| TOTAL LOAD |  |  |  |  |  |
| TOTAL SERVIC CAP. |  |  |  |  | 200 |







FOUNDATION NOTES

1. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4OOO-PSI AT 28-DAY CURE, AND SHALL MEET SPESIIFCATION FOR READY-MIXED "CONCRETE (ASTM C94-96). CONCRETE SHALL BE LIACED AND CURED AS PER ACI-318"BUILDNG CODE REQUREMENTS FOR RENFORCED ONCRETE".
2. Concrete slump shall range between 4 inches to 6 inches.
3. ALL CONCRETE WORK SHALL CONFORM TO ACI 318 BUILDING CODE REQUREMENTS FOR
4. THE SURFACE, OVER WHICH THE CONCRETE WILL BE POURED, SHALL BE CLEAN OF LOOSE
MATERAL AND LEVELED PRIOR TO CONCRETE PLACEMENT.
5. CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE
MATERALS AND OTHER OCCURRENCES THAT MAY DECREASE THE STRENGTH OR DURABLITY OF MATERIALS AND
THE FOUNDATION.
6. MECHANICALLY Vibrate concrete particulary when poured in different lifts, to CONSOLIDATION AND TO AVOID JOINTS.
7. ALL REINFORCING STEEL BARS SHALL BE DOMESTIC, NEW BILLET STEEL, ASTM A-615, GRADE 6O. REINFORCING SHALL BE DETALED AND FABRICATED IN ACCORDANCE WITH AC
315-LATEST EDITION - "MANUAL OF STANDARD FOR DETALLNG REINFORCED CONCRETE".
8. ALL LOAD bearing footing shall bear on top of compacted soll
9. WELING OF REINFORCING BARS AND DOWEL BARS IS PROHIBITED UNLESS OTHERWISE APPROVED BY ENGINEER.
10. PRIOR TO THE EXCAVATION, CHECK AREA FOR LOCATION OF underground pipes, cables,
11. ALLOWABLE SOIL BEARING PRESSSURE SHALL BE 1500 PSF MINIMUM. IF DIFFERENT, PLEASE NOTIFY ALLPRO CONSULTING GROUP, INC FOR A REDESIGN.
12. SOLL DATA AS PER PRESUMPTIVE SOLL PARAMETERS FROM IBC 2015 COOE, TABLE 1806.2

(2) CONCRETE FOUNDATION PLAN VIEW

SITE ID:

## MASONRY

1. MASONRY STRENGTH
A. HOLLOW CONCRETE MASONRY UNITS: GRADE N, LIGHTWEIGHT WITH A COMPRESSIVE STRENGTH OF F $=1500$ PSI ON THE NET AREA.
B. GROUT: 2000 PSI, MINIMUM 28 DAY COMPRESSIVE STRENGTH. VIBRATE GROUT IMMEDIATELY AFTER POURING AND AGAIN AFTER 5 MINUTES. GROUT SHALL CONFORM TO TO ASTM C476 AND UBC 2103. MIX GROUT FOR AT LEAST FIVE MINUTES AND UNTIL MIX HAS BEEN ATTAINED. GROUT SHALL HAVE SUFFICIENT WATER ADDED TO PRODUCE A CONSISTENCY FOR POURING WITHOUT SEGREGATION USE GROUT WITHIN 1.5 HOURS OF ADDITION OF MIXING WATER.
C. MORTAR: CEMENT-LIME TYPES, 1800 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH. CONFORM TO UBC 2103.
D. 4,000 PSI STRENGTH CONCRETE AT 28 DAY 3" TO 5" SLUMP.

LAY UNITS IN RUNNING BOND. CORNERS SHALL HAVE A STANDARD BOND BY OVER- LAPPING UNITS.

MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS SHALL BE 4'-0"
TIE VERTICAL REINFORCING AT EACH END OF BAR AND AT 4'-0" MAXIMUM VERTICAL SPACING USING SINGLE WIRE LOOP TYPE TIES AS MANUFACTURED BY A.A. WIRE PRODUCTS COMPANY OR APPROVED ALTERNATE.

SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS.

GROUT SOLID ALL WALLS IN CONTACT WITH EARTH, RETAINING WALLS, STEM WALLS, AND AS NOTED ON DRAWINGS.

GROUTED MASONRY SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ALL ELEMENTS OF THE MASONRY ACT TOGETHER AS A STRUCTURAL ELEMENT.
8. PRIOR TO GROUTING, THE GROUT SPACE SHALL BE CLEAN SO THAT ALL SPACES TO BE FILLED WITH GROUT DO NOT CONTAIN MORTAR PROJECTIONS GREATER THAN $1 / 2$ INCH, MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. GROUT SHALL BE PLACED SO THAT ALL SPACES DESIGNATED TO BE GROUTED SHALL BE FILLED WITH GROUT AND THE GROUT SHALL BE CONFINED TO THOSE SPECIFIC SPACES.
9. GROUT MATERIALS AND WATER CONTENT SHALL BE CONTROLLED TO PROVIDE ADEQUATE FLUIDITY FOR PLACEMENT, WITHOUT SEGREGATION OF THE CONSTITUENTS, AND SHALL BE MIXED THOROUGHLY
10. THE GROUTING OF ANY SECTION OF WALL SHALL BE COMPLETED IN ONE DAY WITH NO INTERRUPTIONS GREATER THAN ONE HOUR.
12. BETWEEN GROUT POURS, A HORIZONTAL CONSTRUCTION JOINT SHALL BE FORMED BY STOPPING ALL C.M.U. AT THE SAME ELEVATION AND WITH THE GROUT STOPPING A MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. GROUT SHALL BE PLACED SO THAT WHERE BOND BEAMS OCCUR, THE GROUT POUR SHALL BE STOPPED A MINIMUM OF $1 / 2$ INCH BELOW THE TOP OF THE MASONRY.
13. SEGREGATION OF GROUT MATERIALS AND DAMAGE TO THE MASONRY SHALL BE AVOIDED DURING THE GROUTING PROCESS.
14. GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION DURING PLACEMENT BEFORE LOSS OF PLASTICITY IN A MANNER TO FILL THE GROUT SPACE. GROUT POURS GREATER THAN 12 INCHES IN HEIGHT WILL BE RECONSOLIDATED BY MECHANICAL VIBRATION TO WHERE BOND BEAMS OCCUR, THE GROUT POUR SHALL BE STOPPED A MINIMUM OF $1 / 2$ MECHANICALLY VIBRATED OR PUDDLED AND RODDED WITH SMOOTH BAR.
15. GROUT SHALL NOT BE HANDLED NOR PUMPED UTILIZING ALUMINUM EQUIPMENT UNLESS IT CAN BE DEMONSTRATED WITH THE MATERIAL AND EQUIPMENT TO BE USED THAT THERE WILL BE NO DELETERIOUS EFFECT ON THE STRENGTH OF THE GROUT.
16. PLACE \#4 VERTICAL

REINFORCEMENT @ EACH CORNER AND @ EACH SIDE OF AN OPENING


SITE ID: DA0931D SITE NAME: PISD SPORT COMPLEX

1240 FRONTIER PRUY PARK RD, PROSPER, TX Y5078
COLIN COUNTY

SHEET TLLE MASONRY NOTES

