

AGENDA

Planning and Zoning CommissionProsper Town Hall, Council Chambers

250 W. First Street, Prosper, Texas
Tuesday, June 06, 2023
6:00 PM

Welcome to the Prosper Planning & Zoning Commission Meeting.

Citizens may watch the meeting live by using the following link: https://prospertx.new.swagit.com/views/378/

Addressing the Planning & Zoning Commission:

Those wishing to address the Planning and Zoning Commission must complete the Public Comment Request Form located on the Town's website or in the Council Chambers.

If you are attending in person, please submit this form to the Town Secretary or the person recording the minutes for the Board/Commission prior to the meeting. When called upon, please come to the podium, and state your name and address for the record.

If you are watching online, please submit this form to the Town Secretary prior to 4:00 p.m. on the day of the meeting in order for your comments to be read into the record. The Town assumes no responsibility for technical issues beyond our control.

In compliance with the Texas Open Meetings Act, the Town Council/Board/ Commission may not deliberate or vote on any matter that does not appear on the agenda. The Council/Board/Commission, however, may provide statements of fact regarding the topic, request the topic be included as part of a future meeting, and/or refer the topic to Town staff for further assistance.

Citizens and other visitors attending Planning and Zoning Commission meetings shall observe the same rules of propriety, decorum, and good conduct applicable to members of the Commission. Any person making personal, impertinent, profane or slanderous remarks or who becomes boisterous while addressing the Commission or while attending the meeting shall be removed from the room, if so directed by the Mayor or presiding officer, and the person shall be barred from further audience before the Commission during that session of the meeting. Disruption of a public meeting could constitute a violation of Section 42.05 of the Texas Penal Code.

Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may address the Commission when the item is considered by the Planning & Zoning Commission.

- 1. Call to Order / Roll Call.
- 2. Pledge of Allegiance.

CONSENT AGENDA:

Items placed on the Consent Agenda are considered routine in nature and are considered non-controversial. The Consent Agenda can be acted upon in one motion. Items may be removed from the Consent Agenda by the request of a Commission Member or staff.

- <u>3a.</u> Consider and act upon the minutes from the May 16, 2023, Planning & Zoning Commission meeting.
- 3b. Consider and act upon a request for a Preliminary Plat of Shawnee Trail Addition for 25 residential lots and 3 open space lots, on 18.9± acres, located north of West Prosper Trail and west of North Dallas Parkway. The property is zoned Planned Development 75 (PD-75) NWC Dallas Parkway and Prosper Trail. (D22-0089)
- 3c. Consider and act upon a request for a Replat for Ladera Prosper, Phase 2, Block A, Lot 1R, on 44.0± acres, located south of East First Street and west of North Custer Road. The property is zoned Planned Development-107 (PD-107) Brookhollow Ladera. (DEVAPP-23-0005).
- 3d. Consider and act upon a request for a Site Plan for a Residential Development, on 44.0± acres, located south of East First Street and west of North Custer Road. The property is zoned Planned Development-107 (PD-107) Brookhollow Ladera. (DEVAPP-23-0006)
- 3e. Consider and act upon a request for a Replat for La Cima Crossing, Block A, Lot 3, and a Final Plat for La Cima Crossing, Block A, Lot 4, on 3.7± acres, located south of Richland Boulevard and west of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2) Willow Ridge. (DEVAPP-23-0058).
- 3f. Consider and act upon a request for a Site Plan for a Retail Store, on 1.5± acres, located south of Richland Boulevard and west of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2) Willow Ridge. (DEVAPP-23-0059)
- 3g. Consider and act upon a request for a Preliminary Site Plan for a Mixed-Use Commercial Development, on 70.9± acres, located on the southeast corner of West Frontier Parkway and North Dallas Parkway. The property is zoned Planned Development-69 (PD-69) Metten Tract. (D22-0098)
- 3h. Consider and act upon a request for a Revised Site Plan for an expansion to an Automobile Sales Store, on 15.1± acres, located on the northwest corner of US-380 and Mahard Parkway. The property is zoned Planned Development-99 (PD-99) Toyota Penske. (DEVAPP-23-0068)
- 3i. Consider and act upon a request for a Preliminary Site Plan for an expansion to a House of Worship, on 13.6± acres, located on the southeast corner of Prairie Drive and Legacy Drive. The property is zoned Planned Development-65 (PD-65) Prosper Center. (DEVAPP-23-0077)
- 3i. Consider and act upon a request for a Site Plan for a Public School, on 85.5± acres, located on the southeast corner of West First Street and South Teel Parkway. The property is zoned Planned Development-48 (PD-48) Grey Tract 163. (DEVAPP-23-0065)

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CITIZEN COMMENTS

The public is invited to address the Commission on any topic. However, the Commission is unable to discuss or take action on any topic not listed on this agenda. Please complete a "Public Comment Request Form" and present it to a staff member prior to the meeting.

REGULAR AGENDA:

If you wish to address the Commission, please fill out a "Public Comment Request Form" and present it to the Chair, preferably before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, individuals wishing to address the Planning and Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For individuals wishing to speak on a non-public hearing item, they may either address the Commission during the Citizen Comments portion of the meeting or when the item is considered by the Planning and Zoning Commission.

- 4. Conduct a Public Hearing, and consider and act upon a request to rezone 69.9± acres from Agriculture (A), a portion of Planned Development-40 (PD-40), and a portion of Single Family-12.5 (SF-12.5) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development, located on the southeast corner of Prosper Trail and Teel Parkway. (Z21-0010)
- Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a new Wireless Communications and Support Structure, on .1± acre, located on the south side of Prosper Trail, west of Preston Country Lane. (ZONE-22-0001)
- 6. Conduct a Public Hearing and consider and act upon a request to rezone 0.3± acres from Single Family-15 (SF-15) to Downtown Retail (DTR), on Lots 3-5. (ZONE-23-0001)
- Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a new Wireless Communications and Support Structure, on .1± acre, located on the south side of Frontier Parkway, west of Talon Lane. (ZONE-23-0008)
- 8. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.
- 9. Adjourn.

CERTIFICATION

I, the undersigned authority, do hereby certify that this Notice of Meeting was posted at Prosper
Town Hall, located at 250 W. First Street, Prosper, Texas 75078, a place convenient and readily
accessible to the general public at all times, and said Notice was posted by 5:00 p.m., on Friday,
June 2, 2023, and remained so posted at least 72 hours before said meeting was convened.

Michelle Lewis Sirianni. Town Secretary	Date Notice Removed

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Pursuant to Section 551.071 of the Texas Government Code, the Town Council reserves the right to consult in closed session with its attorney and to receive legal advice regarding any item listed on this agenda.

NOTICE

Pursuant to Town of Prosper Ordinance No. 13-63, all speakers other than Town of Prosper staff are limited to three (3) minutes per person, per item, which may be extended for an additional two (2) minutes with approval of a majority vote of the Town Council.

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS: The Prosper Town Council meetings are wheelchair accessible. For special services or assistance, please contact the Town Secretary's Office at (972) 569-1011 at least 48 hours prior to the meeting time.

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MINUTES

Regular Meeting of the Prosper Planning & Zoning Commission

Prosper Town Hall Council Chambers 250 W. First Street, Prosper, Texas Tuesday, May 16, 2023, 6:00 p.m.



1. Call to Order / Roll Call

The meeting was called to order at 6:00 p.m.

Commissioners Present: Chair Brandon Daniel, Vice Chair Damon Jackson, Secretary Mike Pettis, Sekou Harris, Cameron Reeves, Josh Carson

Staff Present: David Soto, Planning Manager; Doug Braches, Planning Technician; Talia Stevenson, Senior Administrative Assistant

2. Recitation of the Pledge of Allegiance.

3. CONSENT AGENDA

- 3a. Consider and act upon the minutes from the May 2, 2023, Planning & Zoning Commission meeting.
- 3b. Consider and act upon a request for a Preliminary Plat of First Coit Prosper for 25 residential lots and 7 open space lots, on 16.4± acres, located on the southeast corner of East First Street and Coit Road. The property is zoned Single Family-15 District (SF-15) and Specific Use Permit-44 (SUP-44). (D22-0089).
- 3c. Consider and act upon a request for a Preliminary Site Plan for a Public School and Commercial Development, on 143.7± acres, located on the southeast corner of Fishtrap Road and South Teel Parkway. The property is zoned Planned Development-48 (PD-48) Grey Tract 163. (DEVAPP-23-0023)
- 3d. Consider and act upon a request for a Conveyance Plat for Prosper High School No. 4 Addition, Block A, Lot 1, and Block B, Lot 1 on 143.7± acres, located on the southeast corner of Fishtrap Road and South Teel Parkway. The property is zoned Planned Development-48 (PD-48) Grey Tract 163. (DEVAPP-23-0040).
- 3e. Consider and act upon a request for a Preliminary Site Plan for a Commercial Development, on 20.8± acres, located on the northeast corner of US-380 and FM-1385. The property is zoned Planned Development-94 (PD-94) Westside (DEVAPP-23-0031)
- 3f. Consider and act upon a request for a Site Plan & Façade Plan for a Big Box, on 20.8± acres, located on the northeast corner of US-380 and FM-1385. The property is zoned Planned Development-94 (PD-94) Westside. (DEVAPP-23-0032 & DEVAPP-23-0034)

3g. Consider and act upon a request for a Replat for Westside Addition, Block A, Lots 1, 14, and 18, on 25.5± acres, located on the northeast corner of US-380 and FM-1385. The property is zoned Planned Development-94 (PD-94) Westside. (DEVAPP-23-0033).

Motioned by Harris, seconded by Reeves, to approve the Consent Agenda, Motion approved 6-0.

CITIZEN COMMENTS

Barbara Nugent (*Citizen*): Expressed concerns regarding ongoing development at the Legacy Gardens Office development regarding the facades not matching the characteristics of the Town. Also expressed concerns for the Pradera zoning case regarding building height of proposed offices and multi-family components.

David Huber (Citizen): Expressed concerns regarding PISD school developments.

REGULAR AGENDA

4. Conduct a Public Hearing, and consider and act upon a request to amend the Future Land Use Plan from Residential Medium Density to Residential High Density, generally located on the southeast corner of Prosper Trail and Teel Parkway. This is a companion case to Z21-0010. (CA22-0001).

David Soto (Staff): Presented information regarding Item 4.

Commissioners expressed concerns regarding future high density zoning and potential future developments. Requested clarification on applicants request for multifamily and single family development standards.

Nate Parrot (*Applicant*): Presented information on the project.

Commissioners asked for information regarding minimum lot size, age restrictions, if the townhome component is for sale or lease, the number of units, types of garages, building height and anticipated price points.

Nate Parrot (Applicant): Provided commissions with information regarding their questions.

Commissioners expressed concerns on the open ended development standards of the multifamily tract.

Chair Brandon Daniel opened the public hearing.

David Huber (*Citizen*): Expressed concerns regarding the zoning case, proposed buffer to the south of the project, elimination of the natural pond, future use of the area of the previous pond, 100 year floodplain maintenance not being included in the development standards.

Barbara Nugent (Citizen): Expressed concerns regarding increasing residential density.

Clint Richardson (*Developer*): Provided background information regarding the elimination of the bond, cost of developing on a floodplain, Town's screening requirements and overall lot sizes.

Commissioners asked questions regarding the timeline of the proposed development, and to include possible amendments to the Planned Development prior to approval.

David Soto (*Staff*): Gave recommendation to table item 4 to allow for the applicant to provide changes prior to approval.

Chair Brandon Daniel closed the public hearing.

Commissioners continued to express concerns regarding the multifamily tract language and lot size definitions of high density residential districts.

Motioned by Harris to table item 4 to continue the public hearing at the June 6th Planning and Zoning Commission meeting, seconded by Carson. Motion approved to table item 4 to the June 6th Planning and Zoning Commission meeting 6-0.

5. Conduct a Public Hearing, and consider and act upon a request to rezone 69.9± acres from Agriculture (A), a portion of Planned Development-40 (PD-40), and a portion of Single Family-12.5 (SF-12.5) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development, located on the southeast corner of Prosper Trail and Teel Parkway. (Z21-0010)

David Soto (Staff): Presented information regarding Item 5.

Chair Brandon Daniel opened the public hearing.

Clint Richard (*Developer*): Presented information regarding developmental timelines, potential options and amendments for future cases.

Chair Brandon Daniel closed the public hearing.

Motion by Jackson to table Item 5 to continue the public hearing at the June 6th Planning and Zoning Commission meeting, seconded by Reeves. Motion approved to table item 5 to the June 6th Planning and Zoning Commission meeting 6-0.

6. Review actions taken by the Town Council and possibly direct Town Staff to schedule topic(s) for discussion at a future meeting.

David Soto (Staff): Presented information regarding Town Council action and upcoming cases for Planning and Zoning Commission action.

1	0.	Adjourn.

Motioned by Harris, seconded by	y Reeves to adjourn. N	Motion approved 6-0	o at 7:40 p.m.
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Doug Proches Diaming Technisian		Mighael Dettin, Couratory	_
Doug Braches, Planning Technician	D 0 (0	Michael Pettis, Secretary	



PLANNING

To: Planning & Zoning Commission Item No. 3b

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Consider and act upon a request for a Preliminary Plat of Shawnee Trail Addition for 25 residential lots and 3 open space lots, on 18.9± acres, located north of West Prosper Trail and west of North Dallas Parkway. The property is zoned Planned Development 75 (PD-75) NWC Dallas Parkway and Prosper Trail. (D22-0089)

Description of Agenda Item:

The purpose of this Preliminary Plat is to create 25 residential lots and 3 open space lots from one unplatted tract of land for a private subdivision. The Preliminary Plat conforms to the Planned Development 75 (PD-75) development standards.

Attached Documents:

- 1. Location Map
- 2. Preliminary Plat

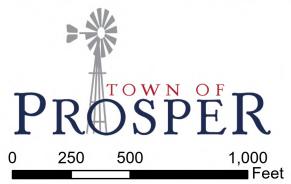
Staff Recommendation:

Staff recommends approval of the Preliminary Plat, subject to:

- 1. Town staff approval of all additions and/or alterations to the easements and dedications on the Preliminary Plat.
- 2. Approval of street names

Page 1 of 1



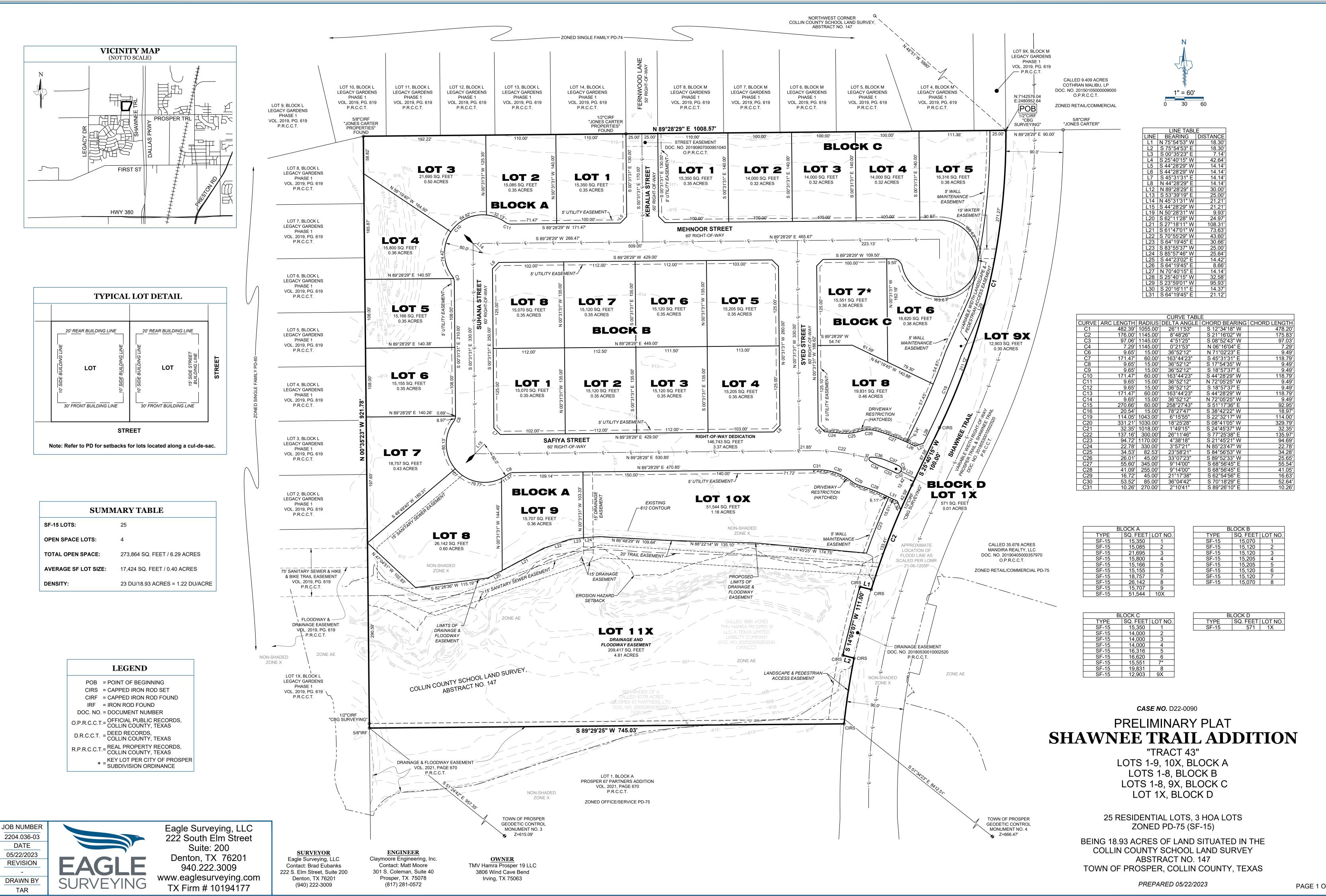




D22-0090

Syed Prosper PP

Preliminary Plat



OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS COUNTY OF COLLIN

WHEREAS, TMV HAMRA PROSPER 19 LLC and PROSPER 67 PARTNERS, LTD are the owners of an 18.93 acre tract of land out of the Collin County, Texas, and being all of a called 18.80 acre tract of land conveyed to TMV Hamra Prosper 19 LLC, a Texas limited liability company, by deed of record in Document Number 20211229002612040 of the Official Public Records of Collin County, Texas, and being a portion of a called 67.715 acre tract of land conveyed to Prosper 67 Partners, Ltd by deed of record in Document Number 2012103001392700, of said Official Public Records, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2 inch iron rod with yellow plastic cap stamped "CBG SURVEYING" found in the West right-of-way), being the Southeast corner of Lot 9X, Block M of Legacy Gardens Phase 1, a subdivision of record in Volume 2019, Page 619 of the Plat Records of Collin County, Texas, also being the Northeast corner of said 18.80 acre tract;

THENCE, along the West right-of-way line of said Shawnee Trail, being the common East line of said 18.80 acre tract, the following seven (7) courses and distances:

- 1. Along a non-tangent curve to the right, having a radius of 1055.00 feet, a chord bearing of S12°34'18"W, a chord length of 478.20 feet, a delta angle of 26°11'53", an arc length of 482.39 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- 2. S25°40'15"W, a distance of 100.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "CBG SURVEYING" found at the beginning of a tangent curve to the left;
- 3. Along said tangent curve to the left, having a radius of 1145.00 feet, a chord bearing of \$21°16'02"W, a chord length of 175.83 feet, a delta angle of 08°48'26", an arc length of 176.00 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGL ESURVEYING" set;
- 4. N75°54'53"W, a distance of 18.30 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- 5. S14°05'07"W, a distance of 111.00 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- 6. S75°54'53"E, a distance of 18.30 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the beginning of a non-tangent curve to the left;
- 7. Along said non-tangent curve to the left, having a radius of 1145.00 feet, a chord bearing of S08°52'43"W, a chord length of 97.03 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Southeast corner of said 18.80

THENCE, S89°29'01"W, along the South line of said 18.80 acre tract, passing at a distance of 1.00 feet, a 1/2 inch iron rod with yellow plastic cap stamped "CBG SURVEYING" found in the East line of Lot 1X, Block L of said Legacy Gardens, being the Southwest corner of Lot 1, Block A of Prosper 67 Partners Addition, a subdivision of record in Volume 2021, Page 670 of said Plat Records bears S00°35'23"W, a

Block L of said Legacy Gardens, being the Northeast corner of said Lot 8, also being the Northwest corner of said 18.80 acre tract;

THENCE, N89°28'29"E, along the North line of said 18.80 acre tract, being in part, the common South lines of Lots 10, 11, 12, 13, & 14, Block L of said Legacy Gardens, in part, the common South lines of Lots 8, 7, 6, 5, 4, and 9X, Block M of said Legacy Gardens, a distance of 1008.57 feet to the **POINT OF BEGINNING**, and containing 18.93 acres (819,208 square feet) of land, more or less.

NOW. THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

THAT, TMV HAMRA PROSPER 19 LLC acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as SHAWNEE TRAIL ADDITION, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. The Owner, TMV HAMRA PROSPER 19 LLC does hereby certify the following:

- 1. The streets and alleys are dedicated for street and alley purposes.
- 2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- 3. The easements and public use areas, as shown are dedicated for the public use forever for the purposes indicated on this plat.
- 4. No building, fences, trees, shrubs, or other improvements or growth shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Prosper.
- 5. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- 6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the easement limits the use to particular utilities, said use by the public utilities being subordinate to the public's and Town of Prosper's use thereof. 7. The Town of Prosper and public utilities shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs, or other improvements or growths which may in any was endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- 8. The Town of Prosper and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- 9. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

Plat approved subject to all applicable jurisdictional platting ordinances, rules, regulations and resolutions

10. 100 Year Floodplain Easement Restriction: Construction within the floodplain may not occur until approved by the Town. (A request for construction within the floodplain easement must be accompanied with detailed engineering plans and studies indicating that no flooding will result, that no obstruction to the natural flow of water will result; and subject to all owners or the property affected by such construction is approved, all finished floor elevations shall be a minimum of one (1) foot above the 100-year flood elevation as determined by analyzing the ultimate build-out conditions of the entire drainage basin. Existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by the drainage courses along or across said lots. The Town will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing his/her property clean and free of debris, silt, or any substance that would result in unsanitary conditions. The Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions, which may occur. The Town is not obligated to maintain or assistance with maintenance of the area. The natural drainage channel, as in the case of all natural drainage channels, are subject to storm water overflow and natural bank erosion. The Town shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure(s) within the natural drainage channel crossing each lot is shown by the Floodway easement line as shown on the plat. If a Subdivision alters the horizontal or vertical floodplain, a FEMA Floodway map revision may be required.

DRAINAGE AND FLOODWAY EASEMENT

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Block A, as shown on the plat is called "Drainage and Floodway Easement" and is the natural drainage channel across each lot. The existing creek or creeks traversing along the Drainage and Floodway Easement within the limits of this addition, will remain as an open channel at all times and will be maintained by the owners of the lot or lots that are traversed by or adjacent to the drainage and Floodway Easement. The Town will not be responsible for the maintenance and operation or said creek or creeks or for any damage to private property or person that results for the flow of water along said creek, of for the control of erosion. No obstruction to the natural flow of storm water run-off shall be permitted by construction of any type of building, fence, or any other structure within the Drainage and Floodway Easement or the natural drainage channels, as herein above defined. Provided it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type of drainage that may be occasioned by streets and alleys in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Floodway Easement at any point, or points, to investigate, survey or to erect, construct, and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the natural drainage channels traversing or adjacent to his property clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Floodway Easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any damages of any nature resulting from the occurrence of these natural drainage channels. Building areas outside the Drainage and Floodway Easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor elevation for each lot shall be as shown on the plat.

LANDSCAPE EASEMENT

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land scape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement and restrictions herein set forth shall run with the landscape easement Replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any 'homeowners' association hereafter established for the owners of lots in this subdivision and/or the owner of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved on the plat.

r lat approved oubject to all applicab	the jurisdictional platfing ordinarioses, raices, regulations and resolutions.
WITNESS AT MY HAND, this the _	day of, 2023.
OWNER: TMV HAMRA PROSPER	19 LLC
BY: Signature	
Printed Name and Title	
STATE OF TEXAS § COUNTY OF COLLIN §	
BEFORE ME, the undersigned auth therein expressed and in the capaci	ority, on this day personally appeared, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations ty therein stated.
GIVEN UNDER MY HAND AND SE	AL OF THE OFFICE this day of, 2023.

Notary Public in and for the State of Texas

- 1		
	JOB NUMBER	
	2204.036-03	
	DATE	
	05/22/2023	
	REVISION	EAG
	-	
	DRAWN BY	SLID//E/
	TAR	JOILVE

Eagle Surveying, LLC 222 South Elm Street Suite: 200 Denton, TX 76201 940.222.3009 www.eaglesurveying.com TX Firm # 10194177

SURVEYOR Eagle Surveying, LLC Contact: Brad Eubanks 222 S. Elm Street, Suite 200 Denton, TX 76201 (940) 222-3009

ENGINEER Claymoore Engineering, Inc. Contact: Matt Moore 301 S. Coleman, Suite 40 Prosper, TX 75078 (817) 281-0572

TMV Hamra Prosper 19 LLC 3806 Wind Cave Bend Irving, TX 75063

STATE OF TEXAS	§	
COUNTY OF DENTON	§	
an actual survey made on the iron rods with green plastic of accordance with the current		ode and the Ordinances of the
PRELIMINAI this document shall not be re	RY corded for any	
purpose and shall not be use relied upon as a final surve		
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relied upon as a final surve	y document	Date
relied upon as a final surve	y document 6402	Date
Matthew Raabe, R.P.L.S. # STATE OF TEXAS COUNTY OF DENTON BEFORE ME, the undersign be the person whose name	\$ \$ \$ ed authority, on this day personally appear	ared MATTHEW RAABE , known to me to and acknowledged to me that he executed

GENERAL NOTES

- **1.)** The purpose of this plat is to create 28 lots, dedicate right-of-way, and dedicate easements.
- 2.) This property is located in "Non-Shaded Zone X" and "Zone AE" as scaled from the F.E.M.A. Flood Insurance Rate Map dated June 02, 2009 and is located in Community Number 480130 as shown on Map Number 48085C0115J, as affected by LOMR 21-06-1205P with an effective date of January 27, 2022.
- 3.) The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) State Plane Coordinate System. Texas North Central Zone - 4202.
- **4.)** Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- **5.)** The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) Datum.
- **6.)** All open space lots are owned and maintained by the HOA.
- 7.) Zoning standards of SF-15 district apply to this subdivision.
- **8.)** Open fencing is required along all open space lots with trails.
- **9.)** All landscape easements must be exclusive of any other type of easement.

CASE NO. D22-0090

PRELIMINARY PLAT

CERTIFICATE OF APPROVAL	N
"TRACT 43"	
APPROVED on this the day of LOTS 1-9, 10X, BLOCK A	
, 2023, by the Planning and LOTS 1-8, BLOCK B	
Zoning Commission of the Town of Prosper, Texas. LOTS 1-8, 9X, BLOCK C	
LOT 1X, BLOCK D	
Town Secretary	
25 RESIDENTIAL LOTS, 3 HOA LOTS ZONED PD-75 (SF-15)	

Development Services Department

S, 3 HOA LOTS (SF-15)

BEING 18.93 ACRES OF LAND SITUATED IN THE COLLIN COUNTY SCHOOL LAND SURVEY ABSTRACT NO. 147 TOWN OF PROSPER, COLLIN COUNTY, TEXAS

PREPARED 05/22/2023



PLANNING

To: Planning & Zoning Commission Item No. 3c

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Consider and act upon a request for a Replat for Ladera Prosper, Phase 2, Block A, Lot 1R, on 44.0± acres, located south of East First Street and west of North Custer Road. The property is zoned Planned Development-107 (PD-107) Brookhollow Ladera. (DEVAPP-23-0005).

Description of Agenda Item:

The purpose of this Replat is to add necessary easements to build additional roads and homes. The Replat conforms to the Planned Development-107 (PD-107) development standards.

As a companion item, the Site Plan (DEVAPP-23-0006) for an age-restricted residential development is also on the June 06, 2023 agenda.

Attached Documents:

- 1. Location Map
- 2. Replat

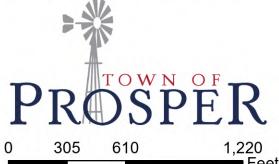
Staff Recommendation:

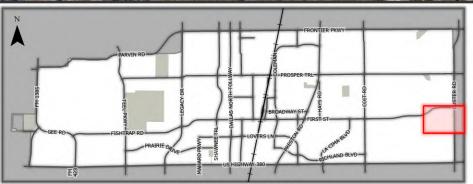
Staff recommends approval of the Replat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Replat.

Page 1 of 1





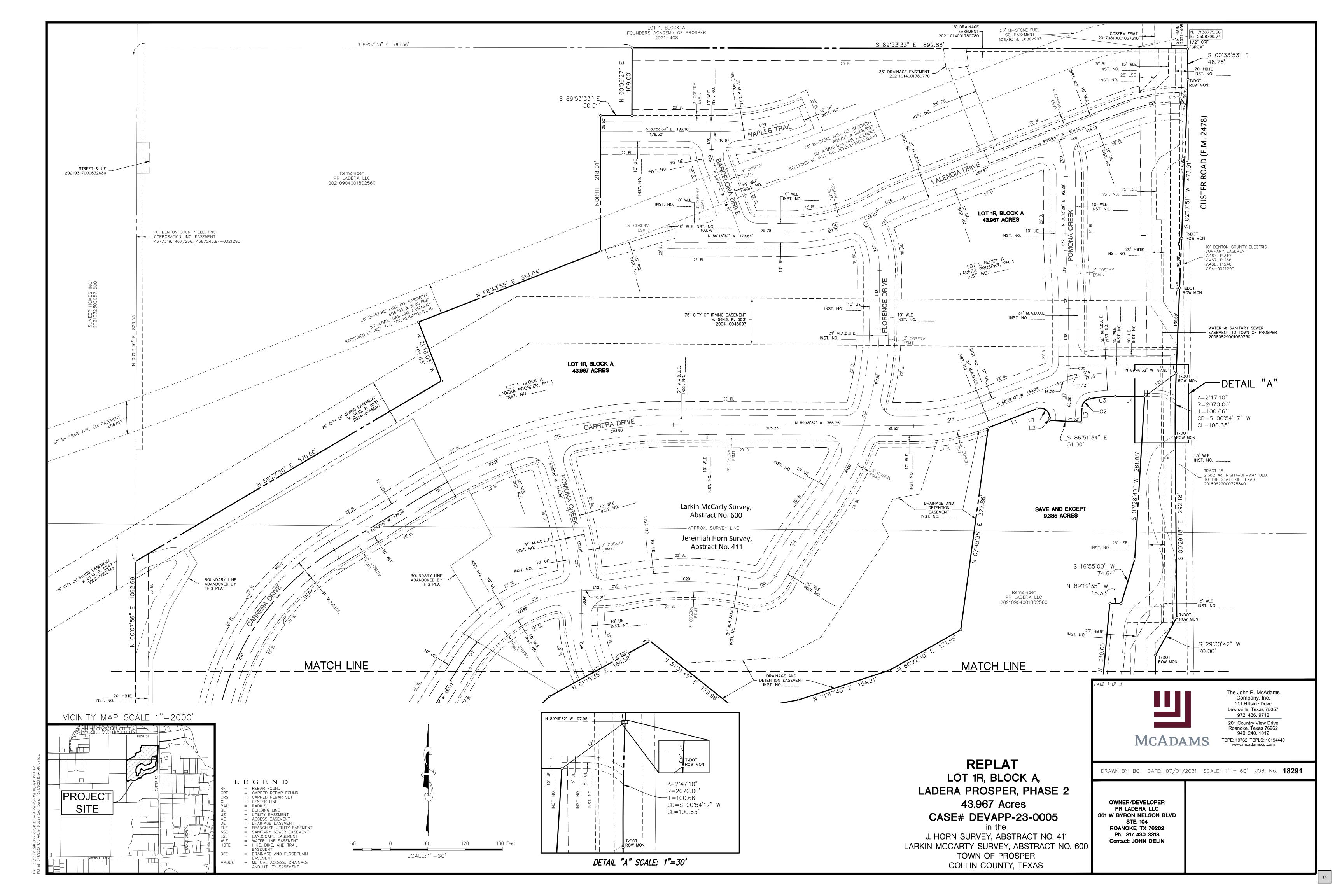


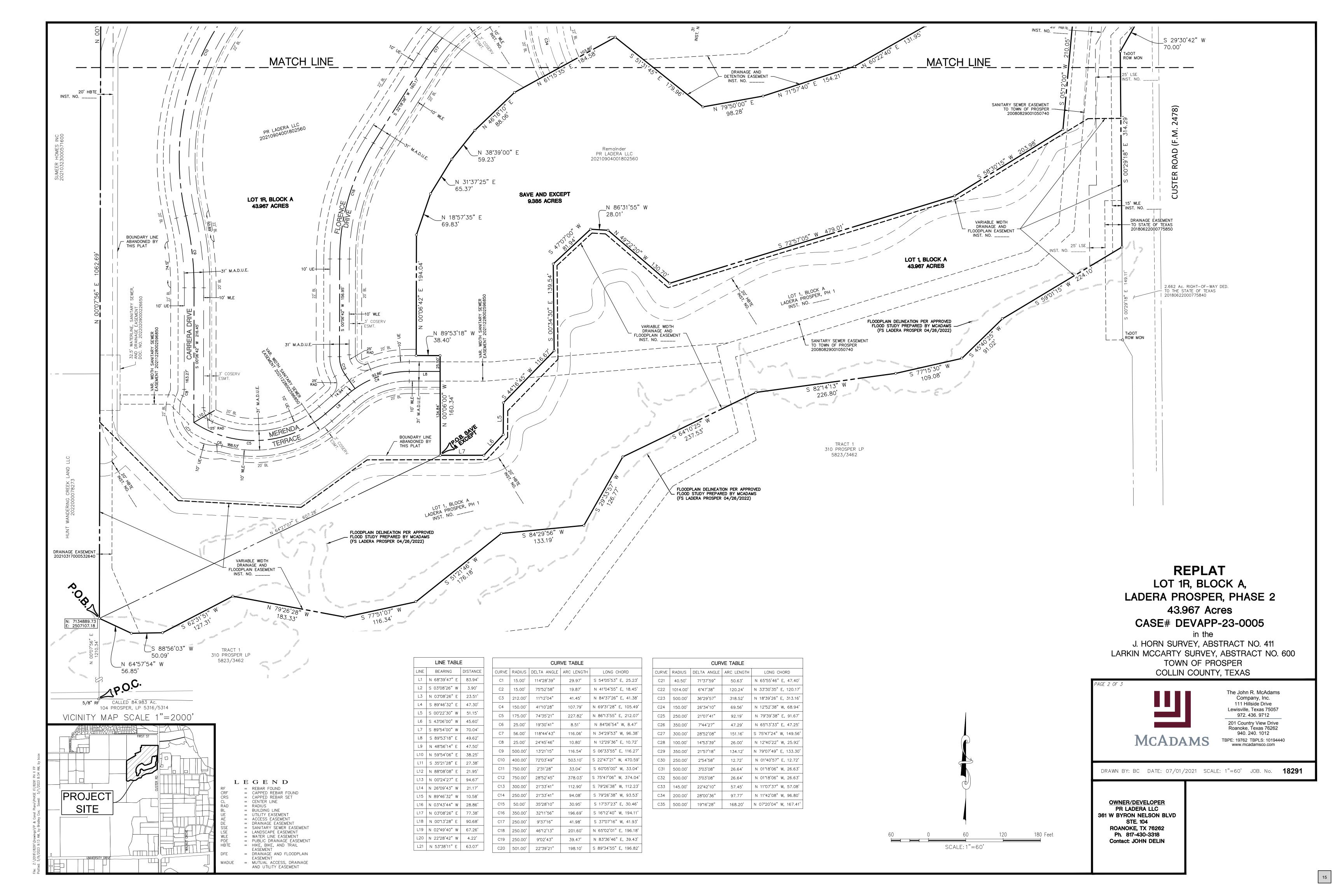
DEVAPP-23-0005

Ladera Prosper Phase 2

13

Unassigned





STATE OF TEXAS § COUNTY OF §

BEING all that certain lot, tract, or parcel of land, situated in the Larkin McCarty Survey, Abstract Number 600, and the Jeremiah Horn Survey, Abstract Number 411, Town of Prosper, Collin County, Texas, and being part of that certain called 138.702 acre tract of land, described as Tract 1, in deed to 310 Prosper, L.P., recorded in Volume 5823, Page 3462, Deed Records, Collin County, Texas, being part of that certain tract of land, described in deed to FF 14th Fairway Limited Partnership, recorded in Volume 4212, Page 2103, Deed Records, Collin County, Texas, being part of that certain tract of land described by deed to PR Ladera LLC, recorded in Instrument Number 20210904001802560, Deed Records, Collin County, Texas, and being part of Lot 1, Block A, Ladera Prosper, Phase 1, an addition to the Town of Prosper, according to the ____, Plat Records, Collin County, Texas, and being more particularly described as follows: plat thereof, recorded in Instrument Number____

COMMENCING at a 5/8" rebar found, at the southwest corner of said Tract 1, and being the southeast corner of that certain tract of land, described by deed to Hunt Wandering Creek Land LLC, recorded in Instrument Number 2022000078273, Official Public Records, Collin County, Texas, and being on the north line of that certain called 84.983 acre tract of land, described in deed to 104 Prosper, L.P., recorded in Volume 5316, Page 5314, Deed Records, Collin County, Texas, from which a 5/8" rebar found at the northeast corner thereof, and being the southerly southeast corner of said Tract 1, bears S 88*51'51" E, a distance of 722.94 feet;

THENCE N 00°07'56" E, with the west line of said Tract 1, and the east line of said Hunt Wandering tract, a distance of 1210.34 feet to a 1/2" capped rebar set stamped "MCADAMS" at the POINT OF BEGINNING, and being the southwest corner of the herein described tract of land;

THENCE N 00°07'56" E, with the west line of said Tract 1, and the east line of said Hunt Wandering tract, passing the northeast corner thereof, and being the southeast corner of that certain tract of land, described in deed to Summer Homes Inc., recorded in Instrument Number 20210323000571600, Official Public Records, Collin County, Texas, and continuing with the east line thereof, a total distance of 1062.69 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 59°27'20" E, a distance of 570.00 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 21"16'05" W, a distance of 101.43 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 68°43'55" E, a distance of 314.04 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE North, a distance of 218.01 feet to a 1/2" capped rebar set stamped "MCADAMS"; THENCE S 89'53'33" E, a distance of 50.51 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 00°06'27" E, a distance of 109.00 feet to a 1/2" capped rebar set stamped "MCADAMS" to the south line of Lot 1, Block A, Founders Academy of Prosper, an addition to the Town of Prosper, according to the plat thereof, recorded in Document Number 2021-408, Plat Records, Collin County, Texas

THENCE S 89'53'33" E, with the south line of said Lot 1, a distance of 892.88 feet to a 1/2" capped rebar found, stamped "CROW" at the southeast corner thereof, being on the east line of said Tract 1, and the west line of Custer Road, from which a Wood ROW monument found at the easterly northeast corner of said Tract 1 bears N 00°33'20" W, a distance of 506.01 feet;

THENCE S 00'33'53" E, with the east line of said Tract 1, and the west line of said Custer Road, a distance of 48.78 feet to an Aluminum Texas Department of Transportation (TxDOT) monument found at the north end of certain called 2.662 acre Right—of—Way dedication to the State of Texas, described as Tract 15, recorded in Instrument Number 20180622000775840, Official Public Records, Collin County, Texas;

THENCE with the west line of said 2.662 acre Right-of-Way dedication, and the west line of said Custer Road, the following: S 0217'51" W, passing at 255.95 feet a TxDOT monument found, passing at 366.01 feet a TxDOT monument found, and continuing a total distance of 473.01 feet to a TxDOT monument found;

Southwesterly with the arc of a curve to the left, having a radius of 2070.00 feet, a central angle of 02'47'10", an arc length of 100.66 feet, and whose chord bears S 00°54'17" W, a distance of 100.65 feet to a TxDOT monument found;

S 00°29'18" E, a distance of 292.18 feet to a TxDOT monument found; S 29°30'42" W, a distance of 70.00 feet to a TxDOT monument found;

S 00'29'18" E, a distance of 314.29 feet to a 1/2" capped rebar set stamped "MCADAMS" at the southeast corner of the herein described tract of land, from which a

TxDOT monument found bears S 00°29'18" E, a distance of 149.11 feet; THENCE over, across, and through said Tract 1, generally with the center of a creek, the following:

S 59°01'15" W, a distance of 224.10 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 45'40'25" W, a distance of 91.02 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 77"15'30" W, a distance of 109.08 feet to a 1/2" capped rebar set stamped "MCADAMS"; S 82°14'13" W, a distance of 226.80 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 6410'25 W, a distance of 237.53 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 29°33'57" W, a distance of 126.77 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 84°29'56" W, a distance of 133.19 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 51°21'46" W, a distance of 176.18 feet to a 1/2" capped rebar set stamped "MCADAMS"; S 77°51'07" W, a distance of 116.34 feet to a 1/2" capped rebar set stamped "MCADAMS";

N 79°26'28" W, a distance of 183.33 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 62°31'51" W, a distance of 127.31 feet to a 1/2" capped rebar set stamped "MCADAMS";

S 88'56'03" W, a distance of 50.09 feet to a 1/2" capped rebar set stamped "MCADAMS"; N 64'57'54" W, a distance of 56.85 feet to the POINT OF BEGININNG and containing approximately 53.352 acres of land.

SAVE AND EXCEPT

BEING 9.385 acres of land, situated in the Larkin McCarty Survey, Abstract Number 600, and the Jeremiah Horn Survey, Abstract Number 411, Collin County, Texas, and being part of that certain called 138.702 acre tract of land, described as Tract 1, in deed to 310 Prosper, L.P., recorded in Volume 5823, Page 3462, Deed Records, Collin County, Texas, being part of that certain tract of land, described in deed to FF 14th Fairway Limited Partnership, recorded in Volume 4212, Page 2103, Deed Records, Collin County, Texas, being part of that certain tract of land described by deed to PR Ladera LLC, recorded in Instrument Number 20210904001802560, Deed Records, Collin County, Texas, and being part of Lot 1, Block A, Ladera Prosper, Phase 1, an addition to the Town of Prosper, according to the plat thereof, recorded in Instrument _. Plat Records, Collin County, Texas, and being more particularly described as follows:

COMMENCING at a 5/8" rebar found, at the southwest corner of said Tract 1, and being the southeast corner of that certain tract of land, described by deed to Hunt Wandering Creek Land LLC, recorded in Instrument Number 2022000078273, Official Public Records, Collin County, Texas, and being on the north line of that certain called 84.983 acre tract of land, described in deed to 104 Prosper, L.P., recorded in Volume 5316, Page 5314, Deed Records, Collin County, Texas, from which a 5/8" rebar found at the northeast corner thereof, and being the southerly southeast corner of said Tract 1, bears S 88°51'51" E, a distance of 722.94 feet;

THENCE N 00°07'56" E, with the west line of said Tract 1, and the east line of said Hunt Wandering tract, a distance of 1210.34 feet to a 1/2" capped rebar set stamped

THENCE N 64°27'07" E, a distance of 607.28 feet to a 1/2" capped rebar set stamped "MCADAMS" being the POINT OF BEGINNING;

THENCE N 00°06'00" W, a distance of 160.34 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 89'53'18" W, a distance of 38.40 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 00°06'42" E, a distance of 194.04 feet to a 1/2" capped rebar set stamped "MCADAMS"; THENCE N 18'57'35" E, a distance of 69.83 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 31°37'25" E, a distance of 65.37 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 38'39'00" E, a distance of 59.23 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 46°18'10" E, a distance of 88.06 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 6115'35" E, a distance of 184.58 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 51°31'45" E, a distance of 179.96 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 79'50'00" E, a distance of 98.28 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 71°57'40" E, a distance of 154.21 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 60°22'40" E, a distance of 131.95 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 07°45'35" E, a distance of 327.86 feet to a 1/2" capped rebar set stamped "MCADAMS"; THENCE N 68'39'47" E, a distance of 83.94 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE Southeasterly, with the arc of a curve to the right, having a radius of 15.00 feet, a central angle of 114'28'39", and an arc length of 29.97 feet, whose chord

bears S 54°05'53" E, 25.23 feet;

THENCE S 03'08'26" W, a distance of 3.90 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 86°51'34" E, a distance of 51.00 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 03°08'26" E, a distance of 23.51 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE Northeasterly, with the arc of a curve to the right, having a radius of 15.00 feet, a central angle of 75'52'58", and an arc length of 19.87 feet, whose chord bears N 41°04'55" E. 18.45 feet: THENCE Northeasterly, with the arc of a curve to the right, having a radius of 212.00 feet, a central angle of 1112'04", and an arc length of 41.45 feet, whose chord

bears N 84°37'26" E. 41.38 feet THENCE S 89°46'32" E, a distance of 47.30 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 03'28'40" E, a distance of 261.85 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 16.55'00" W, a distance of 74.64 feet to a 1/2" capped rebar set stamped "MCADAMS"; THENCE N 89"19'35" W, a distance of 18.33 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 05°12'00" W, a distance of 210.05 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 58'30'15" W, a distance of 203.98 feet to a 1/2" capped rebar set stamped "MCADAMS"; THENCE S 72'57'05" W, a distance of 479.01 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 49°22'20" W, a distance of 130.70 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE N 86°31'55" W, a distance of 28.01 feet to a 1/2" capped rebar set stamped "MCADAMS"; THENCE S 47°07'00" W, a distance of 81.94 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 00°34'30" E, a distance of 139.54 feet to a 1/2" capped rebar set stamped "MCADAMS"; THENCE S 4416'45" W, a distance of 116.67 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 00°22'30" W, a distance of 51.15 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 43°06'00" W, a distance of 45.60 feet to a 1/2" capped rebar set stamped "MCADAMS";

THENCE S 89'54'00" W, a distance of 70.04 feet to the POINT OF BEGINNING, and containing approximately 9.385 acres of land.

NOW, THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

THAT we, PR LADERA LLC, acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designated the herein above described property as Ladera Prosper, Phase 2, an addition to the Town of Prosper, Collin County, Texas. The streets and alleys shown on this plat as access easements are for the use and benefit or the owner of the property of this subdivision, their leases, invitees, and licensees. By acceptance of a deed conveying title to any lot in this subdivision, the owner thereof shall be deemed to have agreed and acknowledged and does certify the following:

1. The street and alleys are private streets and alleys and are dedicated to the Town of Prosper as Access, Utility, and Drainage Easements. The Town has no responsibility or liability to make any repairs to such streets and alleys as long as they are private streets and alleys, except repairs made necessary by reason of installation, repair, or replacement of municipal utilities located therein or in the utility easements adjacent

2. So long as such streets and alleys are private, the sole responsibility for maintenance and replacement thereof shall be borne by the owners of the lots in this subdivision and/or any homeowner's association hereafter established for the owners of lots in this subdivision (the "Association"). Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as same may be hereafter amended. This provision may be enforced by specific performance or by any other remedy allowed by law.

3. Neither the property owners within this subdivision, nor the Association, nor any other association or other organization or entity representing them shall have the right to request dedication (whether by voluntary or involuntary act or omission) of such private streets and alleys to the Town unless and until the Town has inspected such streets and alleys and determined that, at the time in question, they meet the Town's standards. If the Town desires to accept a dedication of said streets and alleys, the Association, its successors or assigns, or the owners of the lots in the subdivision will may, at the owners' or the Association's expense, all repairs required by the Town to the private streets and alleys to the Town. Before dedication, all public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.

4. These easements and public use areas, as shown, are dedicated for the benefit of the owners of the property in this subdivision, their leases, invitees, and licensees use forever, for the purpose indicated on this plat.

5. The provisions hereof shall be binding upon and enforceable against all property owners in this subdivision, their successors and assigns and the Association and its successors and assigns. The provisions hereof may be enforced by the Town, any property owner in the subdivision, and/or the Association.

6. These covenants and restrictions shall run with the land and be binding on the owners of the property in this subdivision, their successor and assigns, the Association, its successors and assigns and all parties claiming by, through and under them. In the event a replat is requested on all of part of this property, the Town may require any similar or additional restrictions and covenants in it's sole discretion. These covenants and restrictions shall terminate when all the access easements shown on this plat are included within a replat of all or part of this property and are dedicated to the Town as public streets and alleys. In addition, all modifications to this document shall be by means of plat and approved by the Town of Prosper.

7. If the owner of the property in this subdivision should open the private streets to the public, such use shall be considered a temporary license only. The owners of property in this subdivision through the Association reserve the right to close the street to the public at any time prior to formal dedication of the street to the public, and acceptance of the same by The Town.

8. The owners of property in this subdivision and the Association shall allow access to the subdivision and the streets in the subdivision to all Town employees and contractors acting on behalf of the Town and all governmental service vehicles, including, without limitation, law enforcement, fire, ambulance, sanitation, inspection, and health vehicles. In addition, Utility Easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Town's use thereof. The Town of Prosper and public utilities shall, at all time, have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding or removing all or parts of their respective systems without the necessity of procuring permission from anyone.

9. The owners of property within this subdivision hereby agree and recognize that the entire subdivision is benefited by the Town allowing the owners to maintain and control access to the private streets shown hereon, and that the Town is benefited by having the value of the property enhanced for ad valorem tax purposes and not being under any covenants, the benefits shall constitute sufficient and valid consideration.

10. The owners of each lot affected by a drainage easement across the rear portion of such lot may not construct any improvements within such lot except those improvements which (a) do not impede the natural flow of water across the property affected by such drainage easement (such as swimming pools and open fences) and (b) are built in accordance with and pursuant to a building permit issued by the Town. In no event shall (Owner Name), the Town, the Association or any of their successors or assigns have any liability for any improvements built in any drainage or utility easement. Each lot owner shall build in such area at his or her own risk and shall indemnify (Owner Name), the Town, the Association and their successors and assigns against any and all losses, damages and liability arising out of or associated with the construction of improvements on such owner's lot in any drainage or utility easement.

11. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscaping improvements may be placed in Landscape Easements, if approved by the Town. Landscaping may be placed in/or near other easements with Town approval. The Town and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easement caused by maintenance or repair.

12. Invalidation or any word, phrase, sentence, paragraph, covenant, or restriction by court judgement or otherwise, shall not affect the validity of the other covenants or restrictions contained herein

13. a. 100 Year Floodplain Easement Restriction: Construction within the floodplain may not occur until approved by the Town. (A request for construction within the floodplain easement must be accompanied with detailed engineering plans and studies indicating that no flooding will result, that no obstruction to the natural flow of water will result; and subject to all owners or the property affected by such construction becoming a party to the request.) Where construction is approved, all finished floor elevations shall be a minimum of one (1) foot above the 100-year flood elevation as determined by analyzing the ultimate build-out conditions of the entire drainage basin. Existing creeks, lakes, reservoirs, or drainage channels traversing along or across portions of this addition, will remain as an open channel at all times and will be maintained by the individual owners of the lot or lots that are traversed by the drainage courses along or across said lots. The Town will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion. Each property owner shall keep the natural drainage channels traversing his/her property clean and free of debris, silt, or any substance that would result in unsanitary conditions. The Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions, which may occur. The Town is not obligated to maintain or assistance with maintenance of the area. The natural drainage channel, as in the case of all natural drainage channels, are subject to storm water overflow and natural bank erosion. The Town shall not be liable for damages of any nature resulting from the occurrence of these natural phenomena, nor resulting from a failure of any structure(s) within the natural drainage channels. The natural drainage channel crossing each lot is shown by the Floodway easement line as shown on the plat. If a Subdivision alters the horizontal or vertical floodplain, a FEMA Floodway map revision may be required.

This	plat	approved	subject	to	all platting	ordinances,	rules,	regulations,	and	resolutions	of	the	Town	of	Prosper,	Texas.

WITNESS, my hand, this the ______day of ______, 2023.

BY: PR LADERA LLC

JOHN DELIN. AUTHORIZED REPRESENTATIVE

SURVEYOR'S STATEMENT

PRELIMINARY DOCUMENT:

lames Stowell, RPLS

exas Registration No. 6513

RELIED UPON AS A FINAL SURVEY DOCUMENT.

JAMES STOWELL, RPLS 6513 5/9/23

STATE OF TEXAS COUNTY OF

> BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared JOHN DELIN, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the

GIVEN	UNDER	MY	HAND	AND	SEAL	OF	OFFICE	this	the	day d	of .	 , 2023.

Notary Public, State of Texas

My commission expires the _____ day of _____.

NOTES:

- 1. Bearings based on Texas Coordinate System, North Central Zone (4202), NAD '83.
- 2. Original copies of survey maps and descriptions prepared by the surveyor and firm whose names appear hereon will contain an embossed surveyor's seal. Any map or description copy without that embossed seal is likely a copy not prepared in the office of the surveyor and may contain alterations or deletions made without the knowledge or oversight of the surveyor.
- 3. According to Community/Panel No. 48085C0255 J, effective June 2, 2009, of the FLOOD INSURANCE RATE MAP for Collin County, Texas & Incorporated Areas, by graphic plotting only, this property appears to be within Flood Zone "AE" (areas of 100—year flood where base flood elevations have been determined), This flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- 4. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
- 5. Notice: Selling a portion of this addition by metes and bounds is a violation of Town Ordinance and state law and is subject to fines and withholding of utilities and
- 6. Landscape easement to be owned and maintained by property owner.
- 7. Landscape easement to be its own exclusive easement.
- 8. All corners are 1/2" capped rebar set, stamped "MCADAMS" unless otherwise noted.
- 9. Water Line Easements identified on this plat are exclusive easements. No other utility whether public or private shall run longitudinally within said easements. Other utilities are allowed to cross perpendicularly. The Condo Association shall be responsible for maintaining easement area keeping clear of any above ground features including, but not limited to trees, shrubs, fences, large rocks, etc.
- 10. Drainage from remainder tract and future phases is deemed private and all infrastructure serving this lot and any future lot associated with the Ladera development shall be owned and maintained by the Condo Association.
- 11. All M.A.D.U.E.'s to be maintained by the Condo Association.
- 12. The purpose of this Replat is to add necessary easements to build additional roads and homes.
- 13. The outside 2—feet of all WLE's (side opposite the MADUE) may be used for Franchise Utility infrastructures underground lines. No above ground structures (i.e. Transformers, pedestals, etc.) are permitted within the WLE.

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Block A, as shown on the plat is called "Drainage and Floodway Easement" and is the natural drainage channel across each lot. The existing creek or creeks traversing along the Drainage and Floodway Easement within the limits of this addition, will remain as an open channel at all times and will be maintained by the owners of the lot or lots that are traversed by or adjacent to the drainage courses in the Drainage and Floodway Easement. The Town will not be responsible for the maintenance and operation or said creek or creeks or for any damage to private property or person that results for the flow of water along said creek, of for the control of erosion. No obstruction to the natural flow of storm water run—off shall be permitted by construction of any type of building, fence, or any other structure within the Drainage and Floodway Easement or the natural drainage channels, as herein above defined. Provided it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by streets and alleys in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Floodway Easement at any point, or points to investigate, survey or to erect, construct, and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the natural drainage channels traversing or adjacent to his property clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Floodway Easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the natural drainage channels. Building areas outside the Drainage and Floodway Easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor elevation for each lot shall be as shown on the

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Block A, as shown on the plat is called "Drainage and Detention Easement". The Drainage and Detention Easement within the limits of this addition, will remain open at all times and will be maintained in a safe and sanitary condition by the owners of the lot or lots that are traversed by or adjacent to the Drainage and Detention Easement, The Town will not be responsible for the maintenance and operation of said Easement or for any damage to private property or person that results from conditions in the Easement, or for the control of erosion. No obstructions to the natural flow or storm water run—off shall be permitted by construction of any type of building, fence or any other structure within the Drainage and Detention Easement, as herein above defined, unless approved by the Town Engineer. Provided, however, it is understood that in the event it becomes necessary for the Town to erect of consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by drainage in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Detention Easement at any point, or points, to investigate, survey or to erect, construct and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the Drainage and Detention Easement clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Detention Easement is subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The Town shall not be held liable for any such damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the Easement.

Approved thisday of	 , 2023	by the	Planning	&	Zoning	Commission	of	the	Town	of	Prosper,	Tex
Engineering Department												
Town Secretary												

REPLAT LOT 1R, BLOCK A, LADERA PROSPER, PHASE 2 43.967 Acres

CASE# DEVAPP-23-0005 in the

J. HORN SURVEY. ABSTRACT NO. 411 LARKIN MCCARTY SURVEY, ABSTRACT NO. 600 TOWN OF PROSPER COLLIN COUNTY, TEXAS



The John R. McAdams Company, Inc. 111 Hillside Drive Lewisville, Texas 75057 972. 436. 9712 201 Country View Drive Roanoke, Texas 76262 940. 240. 1012 TBPE: 19762 TBPLS: 10194440

DRAWN BY: BC DATE: 07/01/2021 SCALE: NTS JOB. No. **18291**

OWNER/DEVELOPER PR LADERA LLC 361 W BYRON NELSON BLVD STE. 104 **ROANOKE. TX 76262** Ph. 817-430-3318 Contact: JOHN DELIN

I, James Stowell, a Registered Professional Land Surveyor in the State of Texas, have prepared this plat of the

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR

STATE OF TEXAS

above property from an actual survey on the ground, and this plat represents that survey made by me or under my BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this personally appeared JAMES STOWELL, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of ______, 2023.

Notary Public, State of Texas

My commission expires the _____ day of _____



PLANNING

To: Planning & Zoning Commission Item No. 3d

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

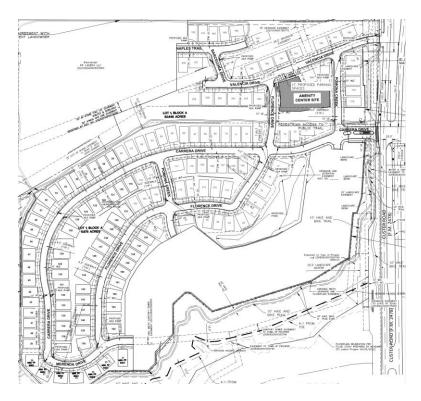
Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Consider and act upon a request for a Site Plan for a Residential Development, on 44.0± acres, located south of East First Street and west of North Custer Road. The property is zoned Planned Development-107 (PD-107) Brookhollow Ladera. (DEVAPP-23-0006)

Description of Agenda Item:

The Site Plan shows a 71-home addition to an age-restricted residential development as shown below:



Access will be provided from North Custer Road. The Site Plan (DEVAPP-23-0006) conforms to the Planned Development-107 (PD-107) development standards.

As a companion item, the Replat (DEVAPP-23-0005) is also on the Planning & Zoning Commission agenda for June 06, 2023.

Attached Documents:

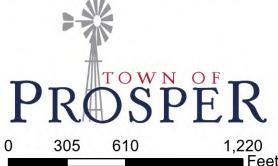
- 1. Location Map
- 2. Site Plan

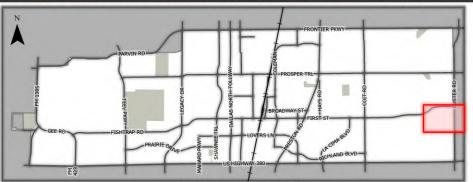
<u>Town Staff Recommendation:</u> Town staff recommends approval of the Site Plan, subject to:

- 1. Town staff approval of civil engineering, irrigation plan, and address plan.
- 2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

Page 2 of 2 18

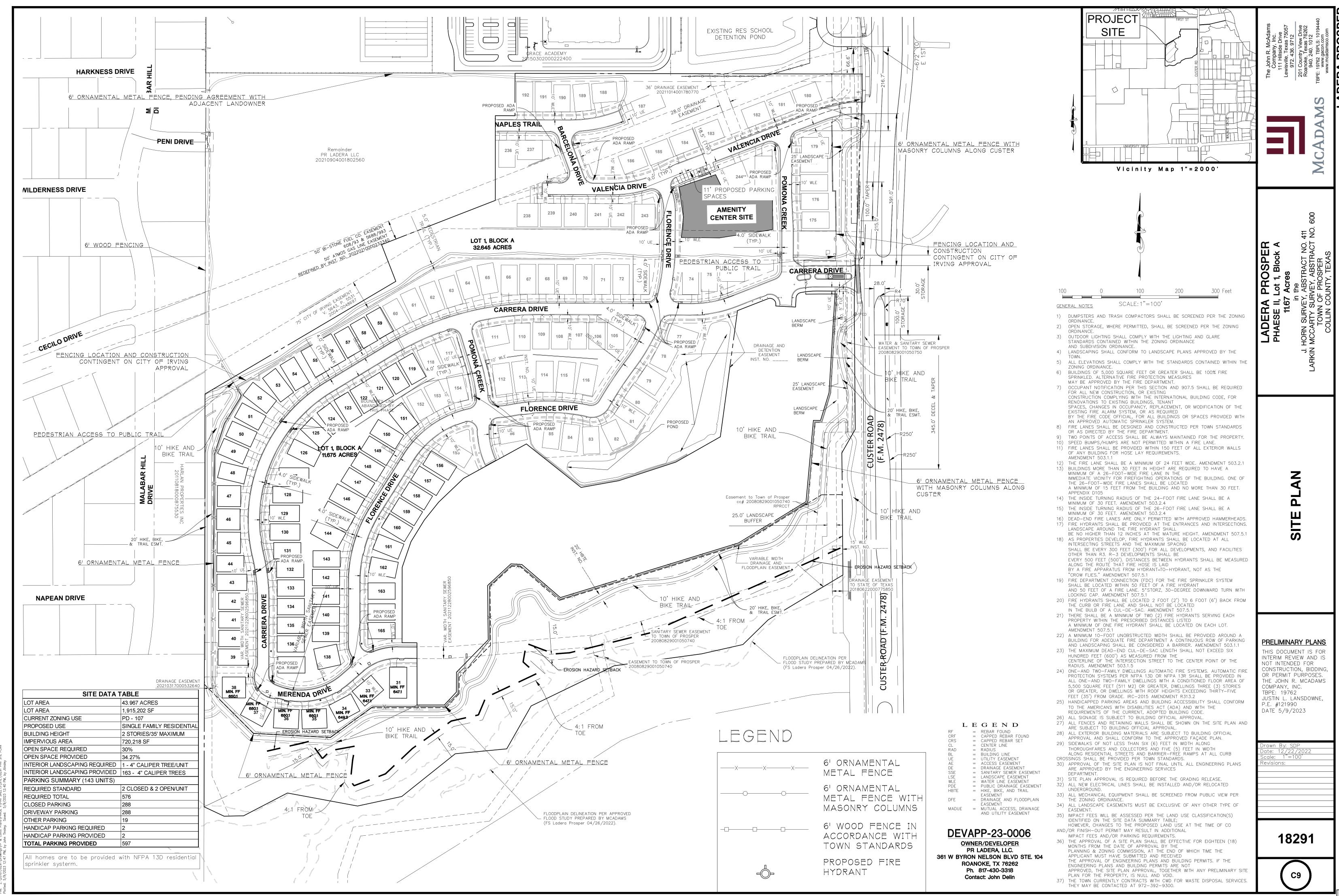






DEVAPP-23-0006

Ladera Prosper Phase 2





PLANNING

To: Planning & Zoning Commission Item No. 3e

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Consider and act upon a request for a Replat for La Cima Crossing, Block A, Lot 3, and a Final Plat for La Cima Crossing, Block A, Lot 4, on 3.7± acres, located south of Richland Boulevard and west of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2) Willow Ridge. (DEVAPP-23-0058).

Description of Agenda Item:

The purpose of this Replat/Final Plat is to develop Lot 4 and modify the landscaping easement on Lot 3. The Replat conforms to the Planned Development-2 (PD-2) development standards.

As a companion item, the Site Plan (DEVAPP-23-0059) for a retail store is also on the June 6, 2023 agenda.

Attached Documents:

- 1. Location Map
- 2. Replat/Final Plat

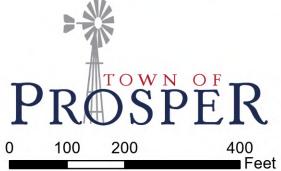
Staff Recommendation:

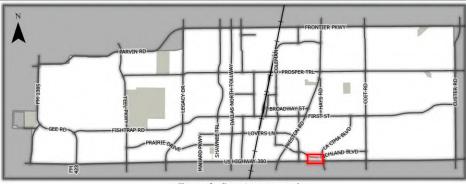
Staff recommends approval of the Replat/Final Plat, subject to:

1. Town staff approval of all additions and/or alterations to the easements and dedications on the Replat.

Page 1 of 1

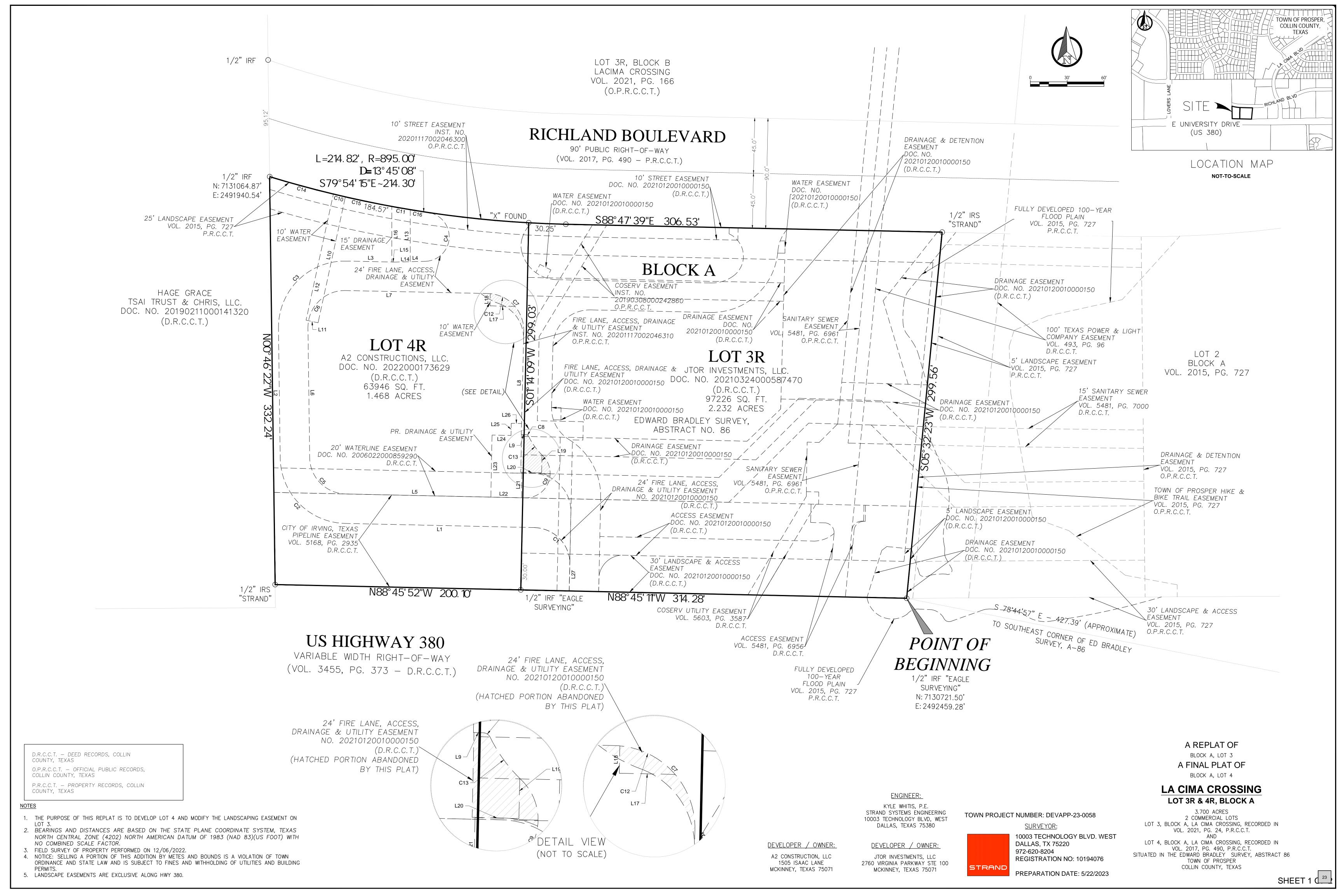






DEVAPP-23-0058

Richland Parkway Retail



OWNER'S CERTIFICATE

STATE OF TEXAS § COUNTY OF DENTON §

WHEREAS A2 CONSTRUCTIONS LLC is the owner of Lot 4, Block A, La Cima Crossing an addition to the Town of Prosper, as recorded in Volume 2017, Page 490, Plat Records, Collin County, Texas and conveyed by deed recorded in Instrument Number 2022000173629, Deed Records, Collin County, Texas and JTOR INVESTEMENTS LLC is the owner of Lot 3, Block A, La Cima Crossing an addition to the Town of Prosper, as recorded in Volume 2021, Page 24, Plat Records, Collin County, Texas and conveyed by deed recorded in Instrument Number 20210324000587470, Deed Records, Collin County, Texas and being more particularly described by metes & bounds as follows:

BEGINNING at a found 1/2 inch iron rod with cap stamped Eagle Surveying at the southeast corner of said Lot 3, Block A, the common southwest corner of Lot 2, Block A of La Cima Crossing, an addition to the Town of Prosper, according to the plat thereof filed for recorded in Volume 2015, Page 727, Plat Records, Collin County, Texas and in the north right-of-way line of U.S. Highway 380 (variable width right-of-way), recorded in Volume 3455, Page 373, Deed Records, Collin County, Texas;

THENCE North 88°45'11" West, with the north right-of-way line of said U.S. Highway 380, a distance of 314.28 feet to a found 1/2 inch iron rod with cap stamped Eagle Surveying at the southwest corner of said Lot 3, Block A, and the common southeast corner of Lot 4, Block A of said La Cima Crossing, recorded in Volume 2017, Page 490, Plat Records, Collin County,

THENCE North 88°45'52" West a distance of 200.10 feet along said north right—of—way line to a set 1/2 inch iron rod with cap marked Strand and being in the east line of a tract of land described in deed to the Hage Grace Tsai Trust & Chris LLC as recorded in Instrument Number 20190211000141320, Deed Records, Collin County, Texas;

THENCE North 00°46'22" West a distance of 332.24 feet along said east line and departing said U.S. Highway 380 right—of—way line to a found 1/2 inch iron rod in the south line of Richland Boulevard (90 foot right-of-way) for the beginning of a non-tangent curve to the left having a radius of 895.00 feet, a central angle of 15°41'18", and a long chord which bears South 80°52'20" East, 244.30 feet;

THENCE along said non-tangent curve to the left an arc length of 245.06 feet to a set 1/2 inch iron rod with cap marked Strand:

THENCE South 88°47'39" East a distance of 306.53 feet to a set 1/2 inch iron rod with cap marked Strand being in the south line of said Richland Boulevard and being the northwest corner of said Lot 2, Block A;

THENCE South 05°32'23" West a distance of 299.56 feet to the POINT OF BEGINNING and CONTAINING 161,165 square feet, 3.70 acres, more or less.

SURVEYOR'S CERTIFICATE

Known All Men By These Presents:

That I, Wesley K. Betterton, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulation of the Town of Prosper,

Dated this the _____ day of _____, 20 ____.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

(Professional Seal)

(Frenessional Seary
Name, Title & Registration No.
STATE OF TEXAS § COUNTY OF DENTON §
BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.
GIVEN UNDER MY HAND AND SEAL OF OFFICE this the day of
, 20
Notary Public, State of Texas

OWNER'S DEDICATION

STATE OF TEXAS § COUNTY OF DENTON §

NOW. THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

THAT, A2 CONSTRUCTIONS LLC, and JTOR INVESTMENTS LLC acting herein by and through their duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as La Cima Crossing, Block B, Lots 3R and 4R, an addition to the Town of Prosper, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. A2 CONSTRUCTIONS LLC, and JTOR INVESTMENTS LLC do hereby certify the following:

1. The streets and alleys are dedicated for street and alley purposes. 2. All public improvements and dedications shall be free and clear of all debt, liens,

3. The easements and public use areas, as shown are dedicated for the public use forever for the purposes indicated on this plat.

4. No building, fences, trees, shrubs, or other improvements or growth shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape

easements if approved by the Town of Prosper. 5. The Town of Prosper is not responsible for replacing any improvements in, under, or over any easements

caused by maintenance or repair. 6. Utility easements may also be used for the mutual use and accommodation of

all public utilities desiring to use or using the same unless the easement limits the use to particular utilities,

said use by the public utilities being subordinate to the public's and Town of Prosper's use thereof. 7. The Town of Prosper and public utilities shall have the right to remove and keep

removed all or part of any building, fences, trees, shrubs, or other improvements or growths which may in any was endanger or

interfere with the construction, maintenance, or efficiency of their respective systems in the easements. 8. The Town of Prosper and public utilities shall at all times have the full right of

ingress and egress to or from their respective easements for the purpose of constructing, reconstructing,

inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the

necessity at any time procuring permission from anyone. 9. All modifications to this document shall be by means of plat and approved by the Town of Prosper.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of

the Town of Prosper, Texas.	
WITNESS, my hand, this the	day of
20 BY:	
	Authorized Signature
	Printed Name and Title
STATE OF TEXAS §	

COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this personally appeared

known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN	UND	ER	MY	HAND	AND	SEAL	OF	OFFICE	this	the	 day	01
				, 20	٥		_ ·					

This plat approved subject to all platting ordinances, rules, regulations and resolutions of

_ Notary Public, State of Texas

__Printed Name and Title

the femiliar freepor, fexas.
WITNESS, my hand, this the day of
20 BY:
Authorized Signature

STATE OF TEXAS § COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this

, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 20_____

Notary Public, State of Texas

ACCESS EASEMENT

The undersigned covenants and agrees that the access easements may be utilized by any person or the general public for ingress and egress to the real property, and for the purpose of general public vehicular use and access, and for the Fire Department, Police, and emergency use in along, upon, and across said premises, with the right and privilege at all times of the Town of Prosper, its agents, employees, workmen, and representatives having ingress, egress and regress in, along, upon, and across said premises.

<u>FIRE LANE EASEMENT</u>

The undersigned covenants and agrees that they shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with Town standards and that they shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to Town standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to Town standards in conspicuous places along the fire lances, stating "Fire Lane, No Parking". The police or their duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

DRAINAGE & DETENTION EASEMENT

This plat is hereby adopted by the Owners and approved by the Town of Prosper (Called "Town") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Block A, as shown on the plat is called "Drainage and Detention Easement" The Drainage and Detention Easement within the limits of this addition, will remain accessible at all times and will be maintained in a safe and sanitary condition by the owners of the lot or lots that are traversed by or adjacent to the Drainage and Detention Easement. The Town will not be responsible for the maintenance and operation of said Easement or for any damage to private property or person that results from conditions in the Easement, or for the control of erosion. No construction of any type of building, fence or any other structure within the Drainage and Detention Easement. as herein above defined shall be permitted, unless approved by the Town Engineer. Provided, however, it is understood that in the event it becomes necessary for the Town to erect or consider erecting any type of drainage structure in order to improve the storm drainage that my be occasioned by drainage in or adjacent to the subdivision, then in such event, the Town shall have the right to enter upon the Drainage and Detention Easement at any point, or points, to investigate, survey or to erect, construct and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the Drainage and Detention Easement clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The Town shall not be held liable for any damages of any nature resulting from the failure of any structure or structures, within the Easement.

LANDSCAPE EASEMENT

The undersigned covenants and agrees that the landscape easement and restrictions herein set forth shall run with the land and be binding on the owner(s) of the property in this subdivision, their successors and assigns, and all parties claiming by, through and under them. In the event a replat is requested on all or part of this property, the Town may require any similar or additional restrictions at its sole discretion. The sole responsibility for maintenance and replacement of landscape materials thereof shall be borne by any 'homeowners' association hereafter established for the owners of lots in this subdivision and/or the owners of the individual lots within this subdivision. Such maintenance and replacement shall be in conformance with the requirements, standards, and specifications of the Town of Prosper, as presently in effect or as may be hereafter amended. This provision my be enforced by specific performance or by any other remedy allowed by law. This Landscape Easement shall be void of utilities and other elements unless otherwise approved

on the plat.

CERTIFICATE OF APPROVAL Approved this day of of Development Services of the Town of	
	Development Services Department
	_ Engineering Department
	Town Secretary

L	ine Data	Table
Line #	Distance	Bearing
L1	153.93'	N88°45'20"W
L2	105.71'	N00°45'50"W
L3	39.96'	S88°48'21"E
L4	24.49'	N88°32'39"E
L5	146.12'	S88°45'20"E
L6	105.71'	S00°45'50"E
L7	115.83'	N88°48'21"W
L8	84.14'	N01°23'30"E
L9	3.49'	N88°49'56"W
L10	104.93'	N12°13'09"E
L11	10.00'	S77°46'51"E
L12	105.11'	S12°13'09"W
L13	42.39'	N00°00'32"E
L14	12.27'	S88°32'36"W
L15	2.74'	N88°48'23"W
L16	45.27'	N00°00'32"E
L17	20.34'	S88°45'47"E
L18	9.96'	S01°14'13"W
L19	14.60'	N01°14'13"E
L20	15.96'	S88°45'47"E

Line Data Table					
Line #	Distance	Bearing			
L21	20.61'	N01°07'25"E			
L22	25.00'	N88°45'52"W			
L23	50.53'	N01°07'25"E			
L24	15.44	S88°49'49"E			
L25	9.96'	N01°10'11"E			
L26	8.40'	S88°36'34"E			
L27	24.88'	S01°14'09"W			

Curve Data Table							
Curve # Arc		Radius	Delta	Chord Bearing	Chord		
C1	43.24	30.00'	082°35'08"	N47°27'46"W	39.59		
C2	82.93'	54.00'	087°59'30"	N44°45'35"W	75.02		
C3	86.67	54.00'	091°57'29"	N45°12'55"E	77.66		
C4	58.85	20.00'	168°35'20"	N04°14'59"E	39.80'		
C5	46.07	30.00'	087°59'30"	S44°45'35"E	41.68		
C6	48.15	30.00'	091°57'29"	S45°12'55"W	43.15		
C7	47.23	30.00'	090°11'51"	N43°42'25"W	42.50'		
C8	3.29'	3.00'	062°54'04"	N57°22'54"W	3.13'		
С9	48.00'	20.00'	137°29'58"	N22°29'41"E	37.28		
C10	10.01	895.00	000°38'26"	S76°47'40"E	10.01		
C11	15.23'	867.68	001°00'20"	S80°04'42"E	15.23'		
C12	23.22'	30.00'	044°20'47"	N62°40'51"W	22.64'		
C13	19.15	54.00'	020°19'26"	N36°05'35"W	19.05		
C14	53.83'	895.00'	003°26'46"	S74°45'04"E	53.82'		
C15	38.68'	895.08	002°28'33"	S78°21'10"E	38.67		
C16	15.35	895.00'	000°58'58"	S81°03'25"E	15.35		

ENGINEER: KYLE WHITIS, P.E. STRAND SYSTEMS ENGINEERING 10003 TECHNOLOGY BLVD, WEST DALLAS, TEXAS 75380

JTOR INVESTMENTS, LLC 2760 VIRGINIA PARKWAY STE 100 MCKINNEY, TEXAS 75071

TOWN PROJECT NUMBER: DEVAPP-23-0058 SURVEYOR:

3.700 ACRES 2 COMMERCIAL LOTS LOT 3. BLOCK A. LA CIMA CROSSING, RECORDED IN VOL. 2021, PG. 24, P.R.C.C.T. AND

A REPLAT OF BLOCK A, LOT 3 A FINAL PLAT OF

BLOCK A, LOT 4

LA CIMA CROSSING

LOT 3R & 4R, BLOCK A

LOT 4, BLOCK A, LA CIMA CROSSING, RECORDED IN VOL. 2017, PG. 490, P.R.C.C.T. SITUATED IN THE EDWARD BRADLEY SURVEY, ABSTRACT 86 TOWN OF PROSPER COLLIN COUNTY, TEXAS

SHEET 2 O

DEVELOPER / OWNER: A2 CONSTRUCTION, LLC 1505 ISAAC LANE

MCKINNEY, TEXAS 75071

DEVELOPER / OWNER:

972-620-8204 **REGISTRATION NO: 10194076** PREPARATION DATE: 5/22/2023

DALLAS, TX 75220

10003 TECHNOLOGY BLVD. WEST

PROSPER A Place Where Everyone Matters

PLANNING

To: Planning & Zoning Commission Item No. 3f

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

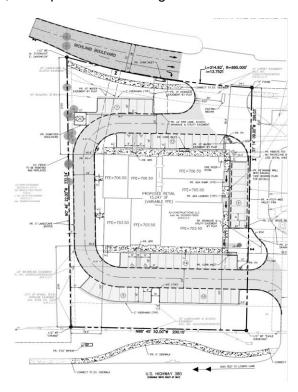
Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Consider and act upon a request for a Site Plan for a Retail Store, on 1.5± acres, located south of Richland Boulevard and west of La Cima Boulevard. The property is zoned Planned Development-2 (PD-2) Willow Ridge. (DEVAPP-23-0059)

Description of Agenda Item:

The Site Plan shows a 15,247 square foot building for a retail store as shown below:



Access will be provided from Richland Boulevard and US-380. The Site Plan (DEVAPP-23-0059) conforms to the Planned Development-2 (PD-2) development standards.

As a companion item, the Replat (DEVAPP-23-0058) is also on the Planning & Zoning Commission agenda for June 6, 2023.

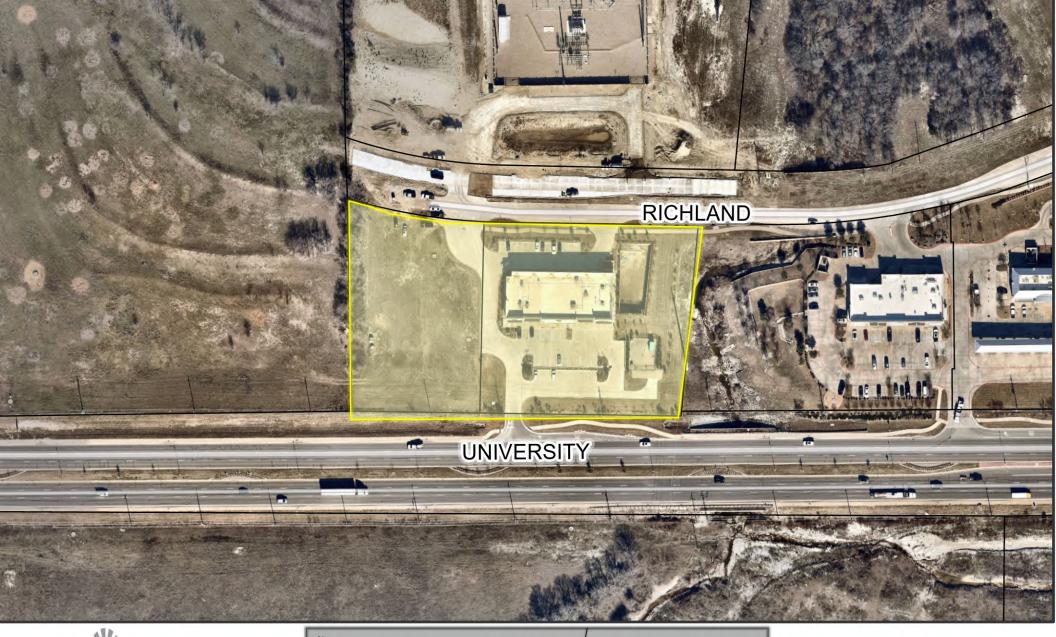
Attached Documents:

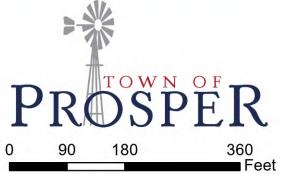
- 1. Location Map
- 2. Site Plan

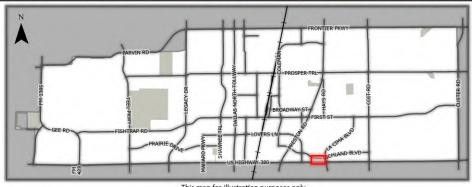
<u>Town Staff Recommendation:</u> Town staff recommends approval of the Site Plan, subject to:

- 1. Town staff approval of civil engineering, irrigation plan, and address plan.
- 2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

Page 2 of 2

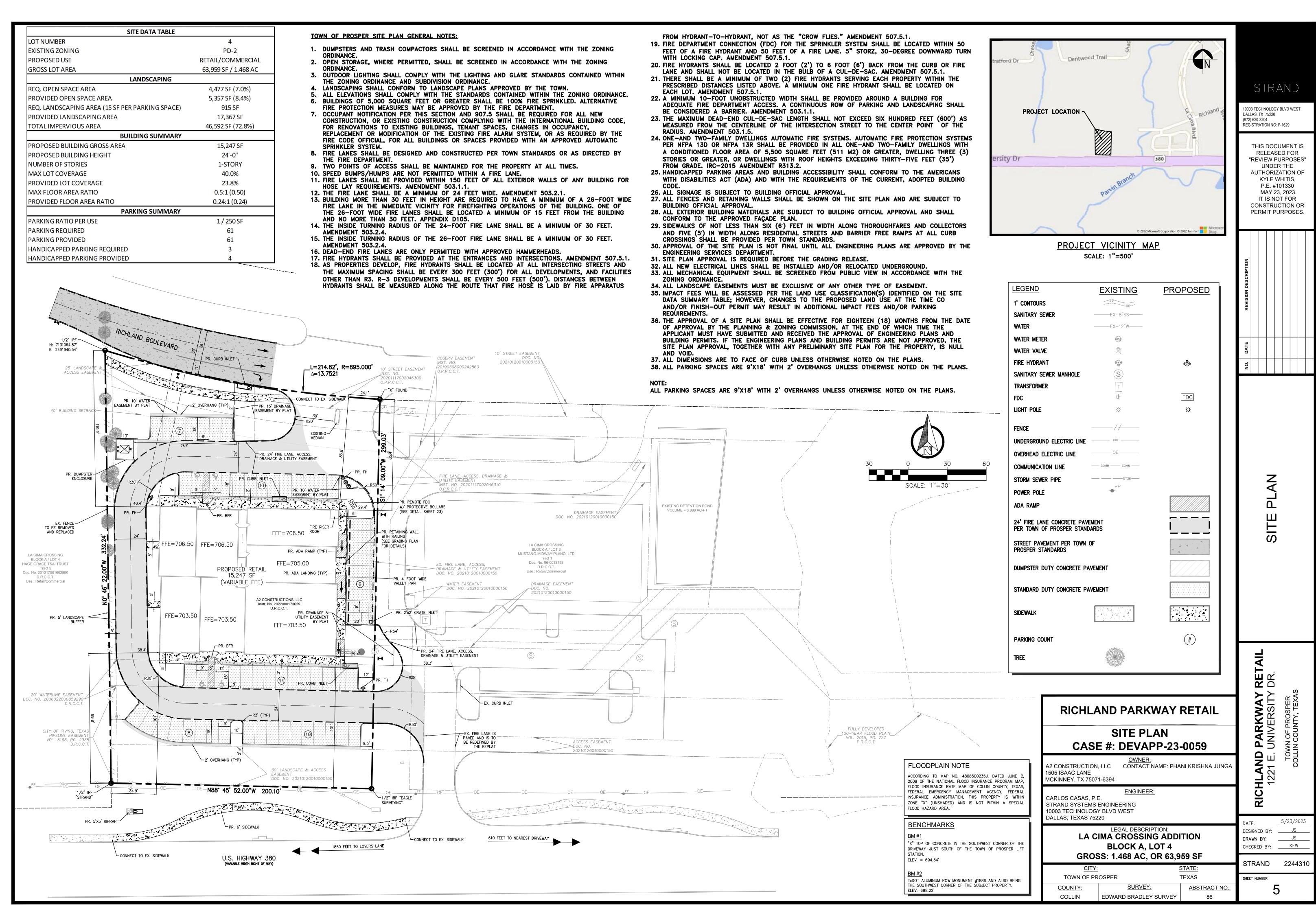






DEVAPP-23-0059

Richland Parkway Retail





PLANNING

To: Planning & Zoning Commission Item No. 3g

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – June 06, 2023

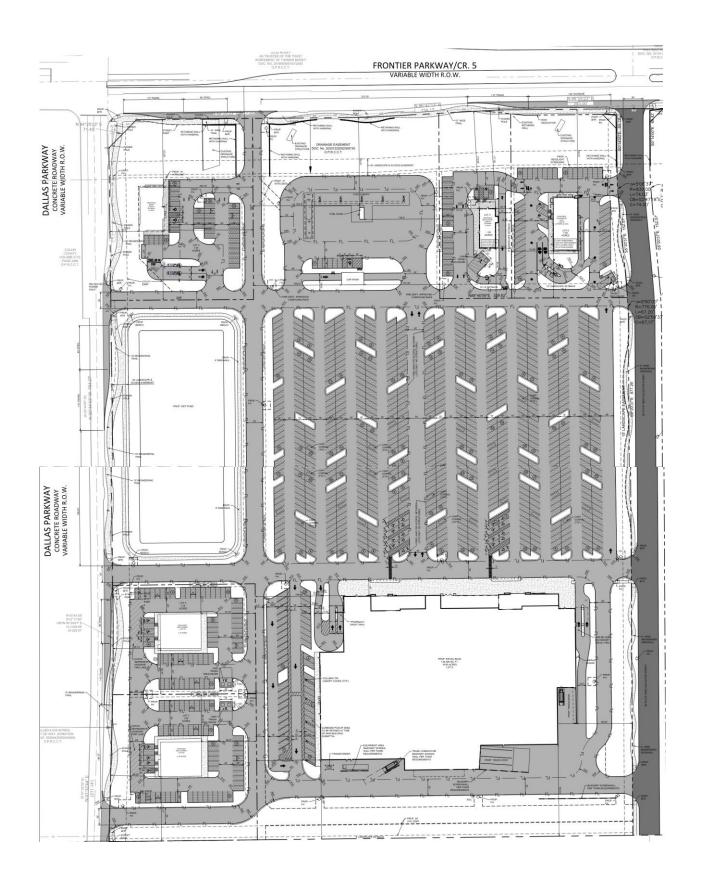
Agenda Item:

Consider and act upon a request for a Preliminary Site Plan for a Mixed-Use Commercial Development, on 70.9± acres, located on the southeast corner of West Frontier Parkway and North Dallas Parkway. The property is zoned Planned Development-69 (PD-69) Metten Tract. (D22-0098)

Description of Agenda Item:

The Preliminary Site Plan shows a 132,000 square foot big box retail building with 2,000 - 4,575 square foot restaurant and bank buildings as shown below:

Page 1 of 3 29



Page 2 of 3

Access will be provided from West Frontier Parkway and North Dallas Parkway. The Preliminary Site Plan (D22-0098) conforms to the Planned Development-69 (PD-69) development standards.

<u>Attached Documents:</u>

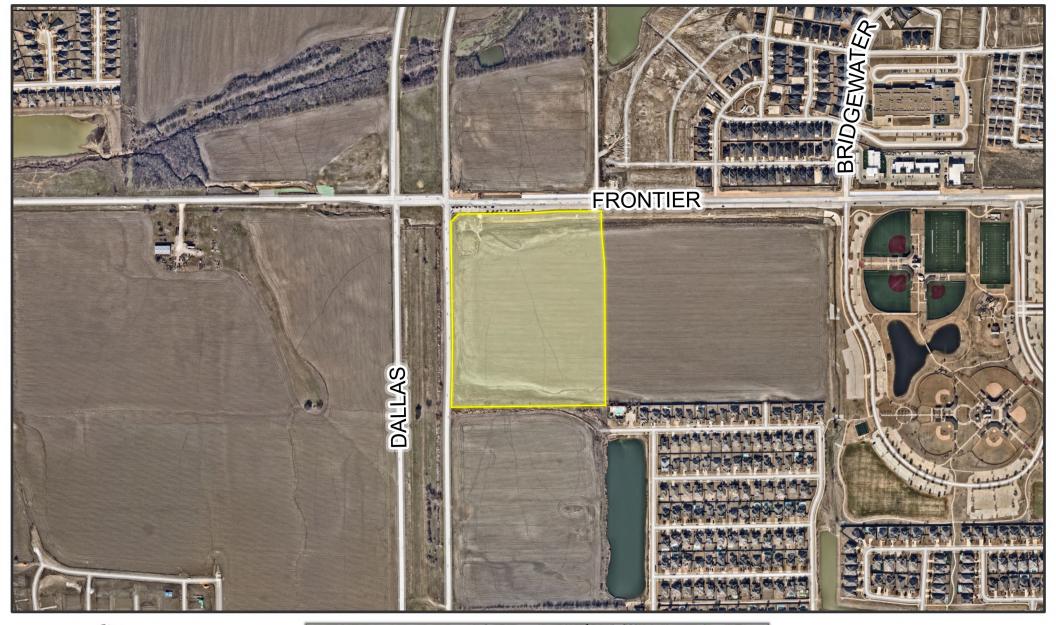
- 1. Location Map
- 2. Preliminary Site Plan

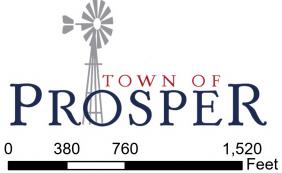
Town Staff Recommendation:

Town staff recommends approval of the Preliminary Site Plan, subject to:

- 1. Town staff approval of preliminary water, sewer, and drainage plans.
- 2. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.
- 3. Approval of the Restaurant with drive-throughs by Town Council on Lots 4 & 5.

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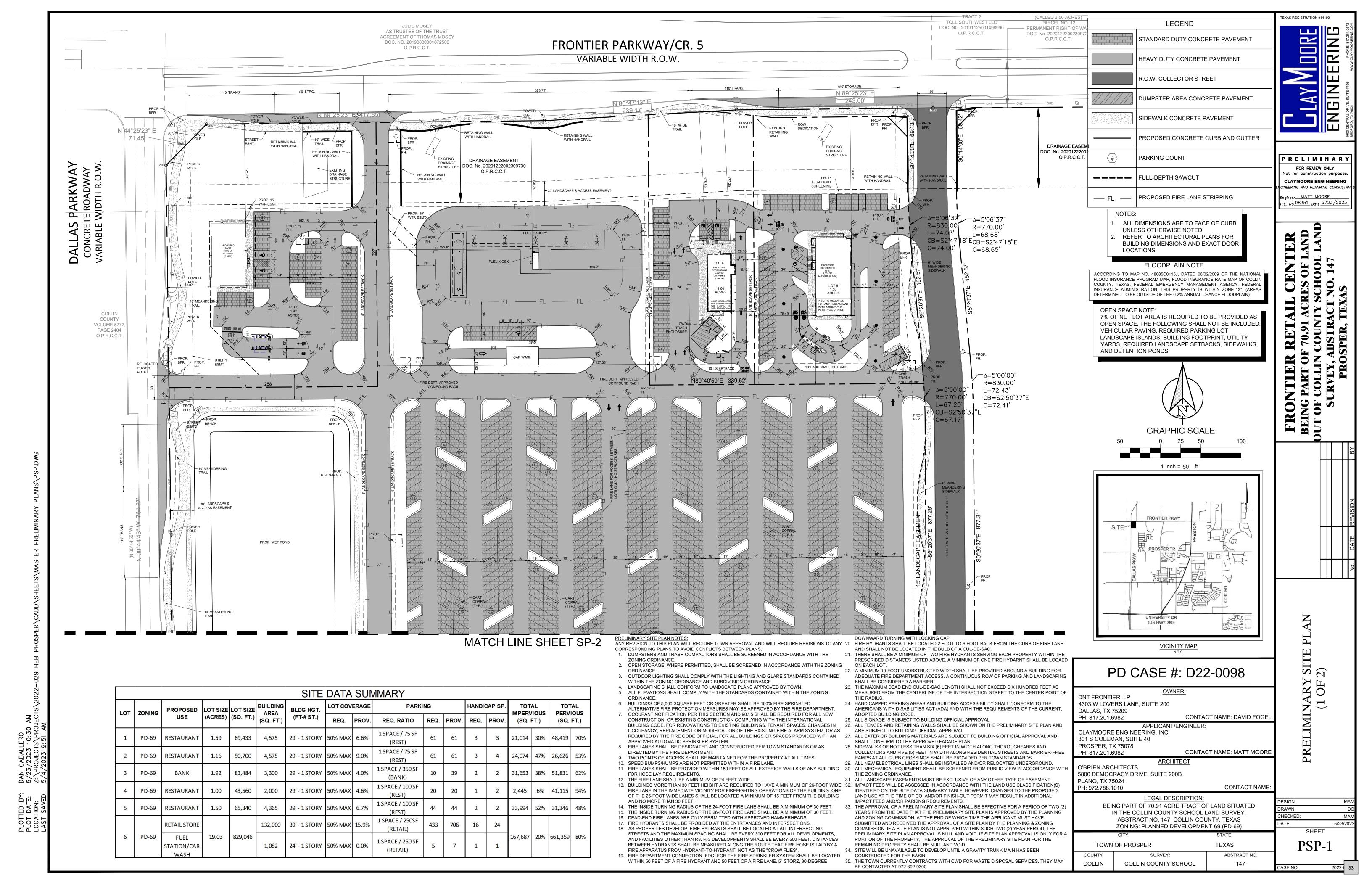


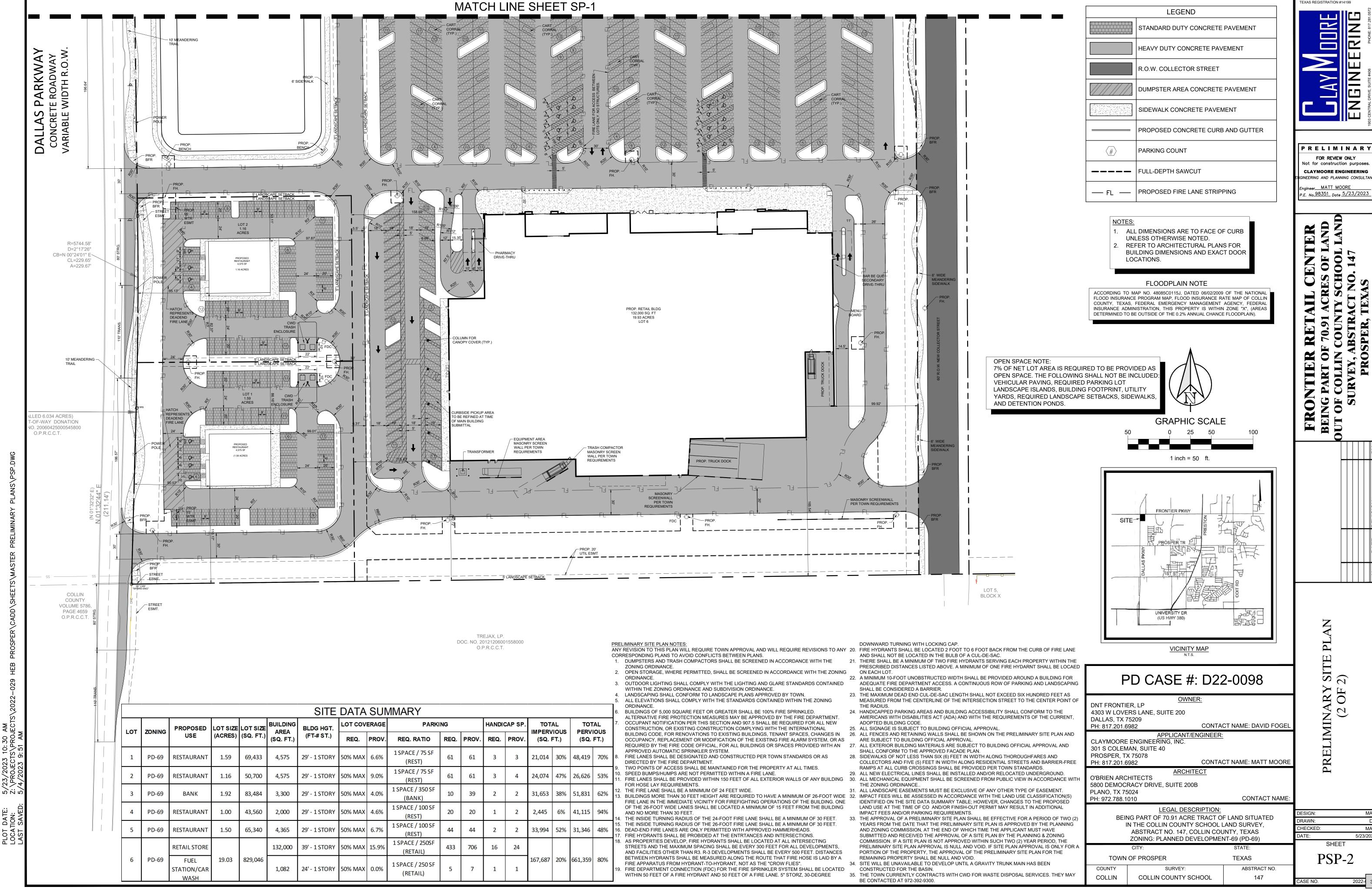
D22-0098

Big Box DNT & Frontier PSP

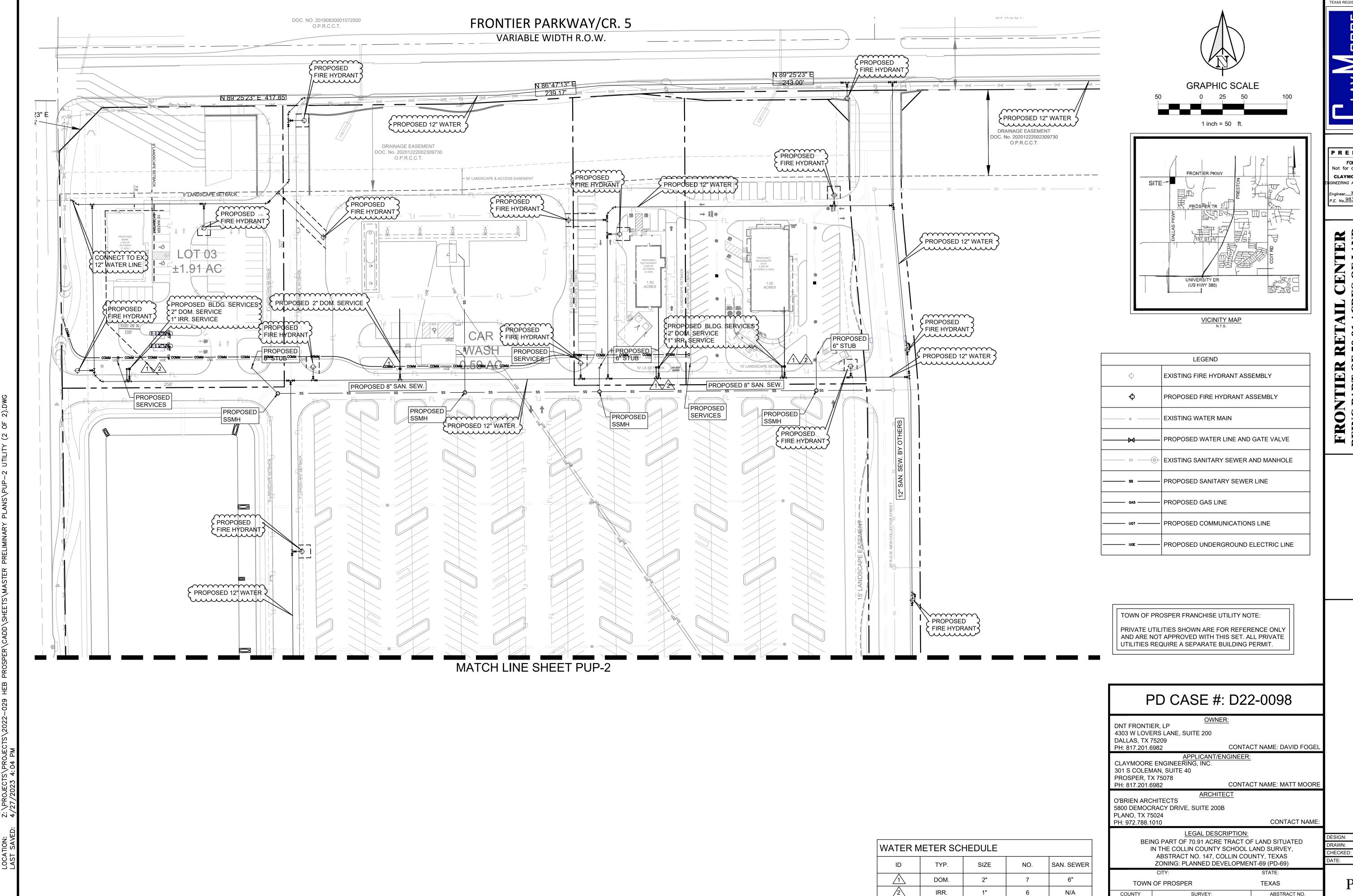
32

Preliminary Site Plan





EXAS REGISTRATION #14199



TEXAS REGISTRATION #14199

> PRELIMINARY FOR REVIEW ONLY

P.E. No<u>98351</u> Date <u>5/23/202</u>

TII 2) Y U OF

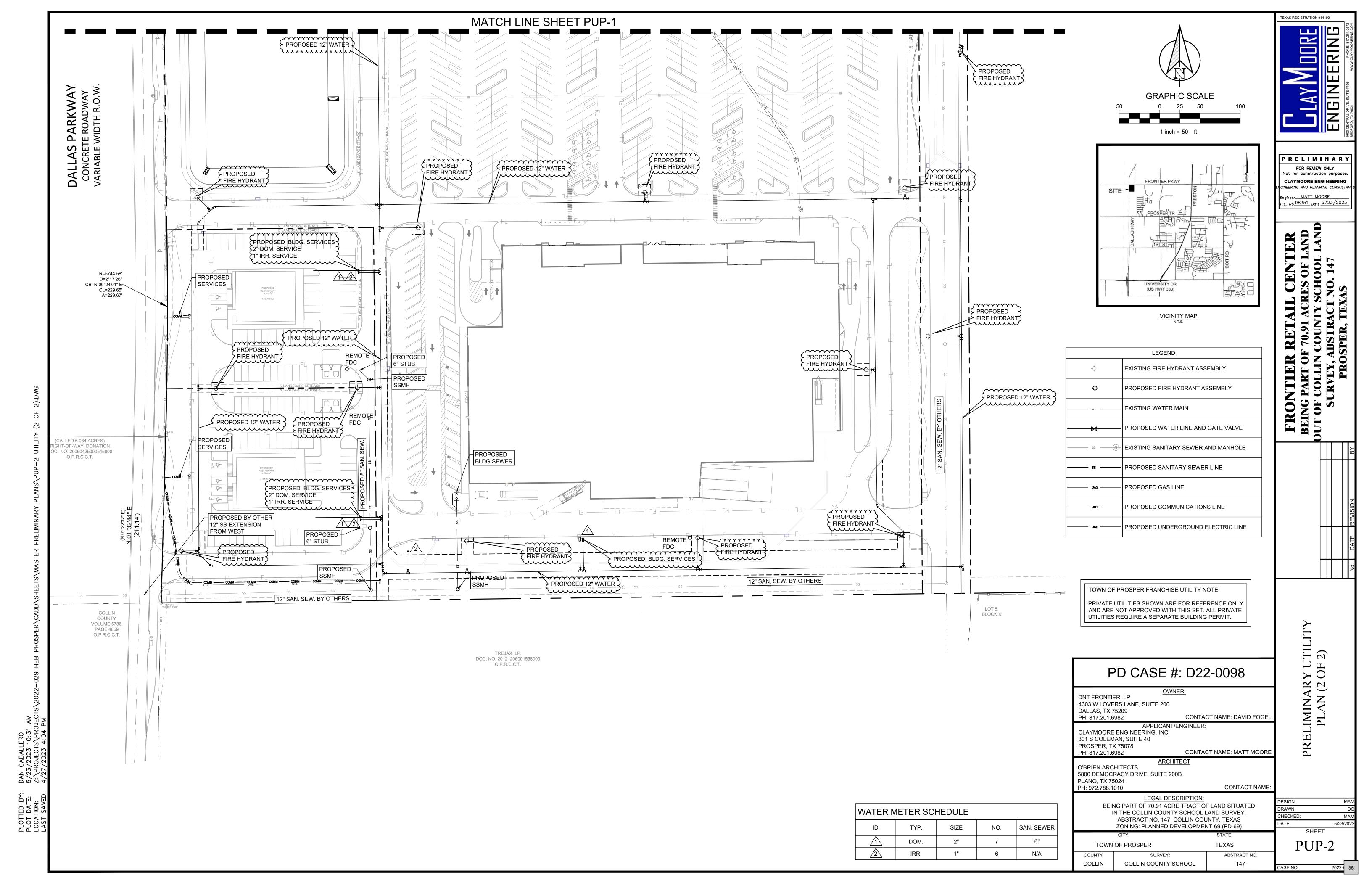
SHEET

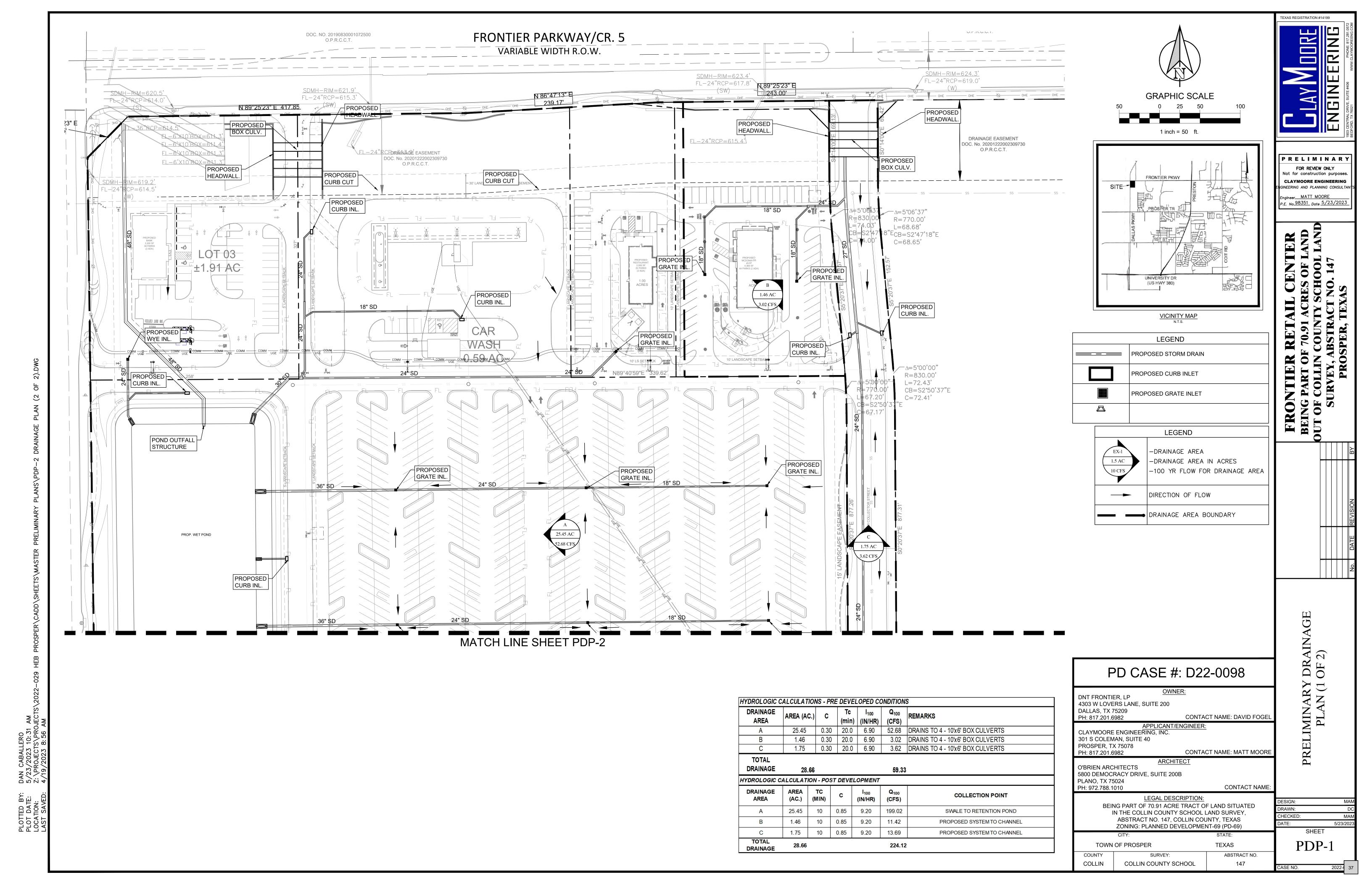
PUP-1

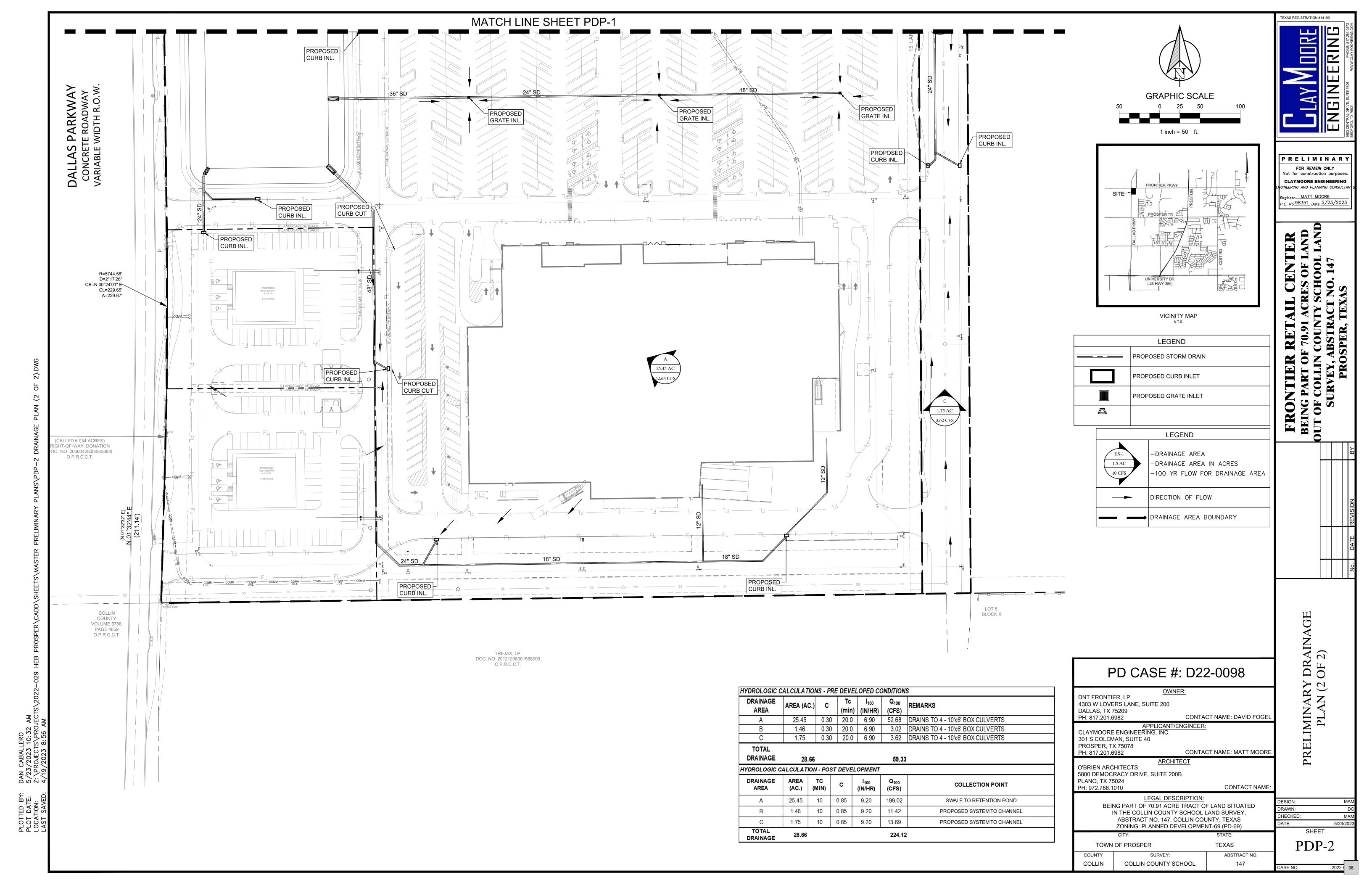
ABSTRACT NO.

COLLIN COUNTY SCHOOL

COLLIN









PLANNING

To: Planning & Zoning Commission Item No. 3h

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

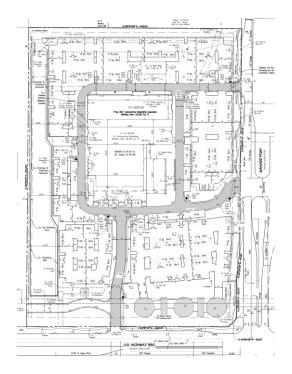
Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Consider and act upon a request for a Revised Site Plan for an expansion to an Automobile Sales Store, on 15.1± acres, located on the northwest corner of US-380 and Mahard Parkway. The property is zoned Planned Development-99 (PD-99) Toyota Penske. (DEVAPP-23-0068)

Description of Agenda Item:

The Revised Site Plan shows a 22,226 square foot expansion to a 46,105 square foot car dealership as shown below:



Page 1 of 2 39

Access will be provided from US-380 and Mahard Parkway. The Site Plan (DEVAPP-23-0068) conforms to the Planned Development-99 (PD-99) development standards.

Attached Documents:

- 1. Location Map
- 2. Site Plan

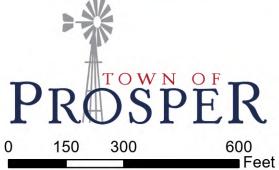
Town Staff Recommendation:

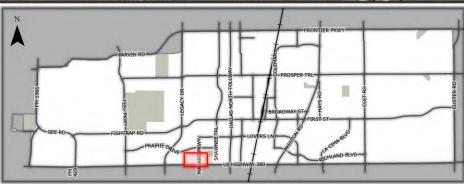
Town staff recommends approval of the Site Plan, subject to:

- 1. Town staff approval of civil engineering, irrigation plan, and address plan.
- 2. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

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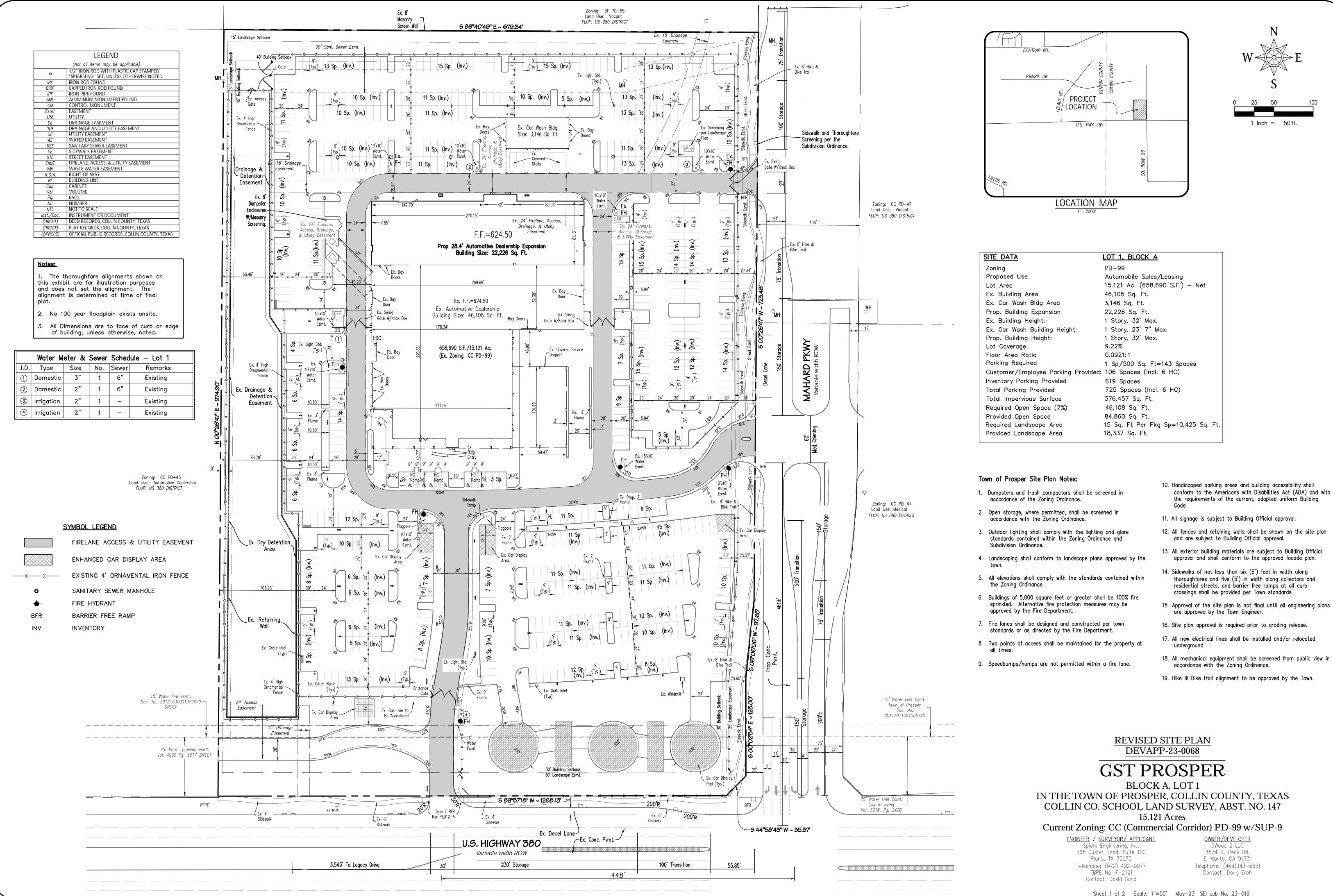




DEVAPP-23-0068

Toyota Expansion

Site Plan



Sheet 1 of 2 Scale: 1"=50' May-23 SEI Job No. 23-019

1 inch = 50 ft.



PLANNING

To: Planning & Zoning Commission Item No. 3i

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

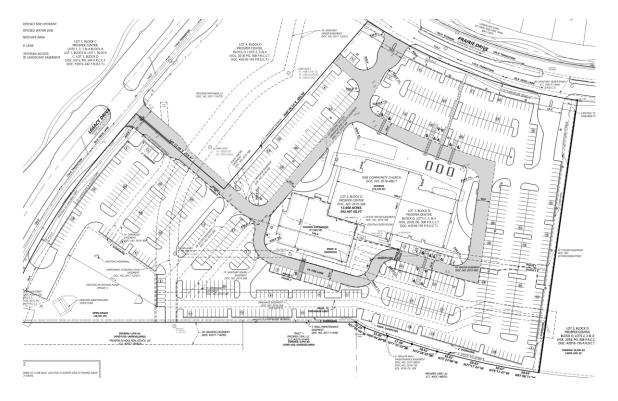
Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Consider and act upon a request for a Preliminary Site Plan for an expansion to a House of Worship, on 13.6± acres, located on the southeast corner of Prairie Drive and Legacy Drive. The property is zoned Planned Development-65 (PD-65) Prosper Center. (DEVAPP-23-0077)

Description of Agenda Item:

The Preliminary Site Plan shows a 17,595 square foot expansion to a 35,570 square foot church as shown below:



Access will be provided from Prairie Drive and Legacy Drive. The Preliminary Site Plan (DEVAPP-23-0077) conforms to the Planned Development-65 (PD-65) development standards.

Attached Documents:

- 1. Location Map
- 2. Preliminary Site Plan

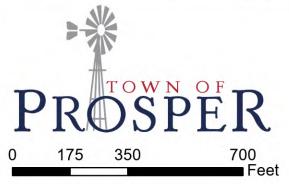
Town Staff Recommendation:

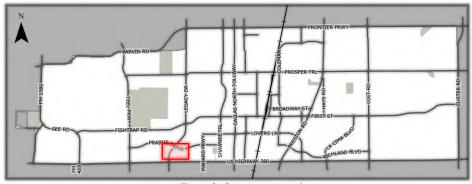
Town staff recommends approval of the Preliminary Site Plan, subject to:

- 1. Town staff approval of preliminary water, sewer, and drainage plans.
- 2. Town staff approval of all emergency access, fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

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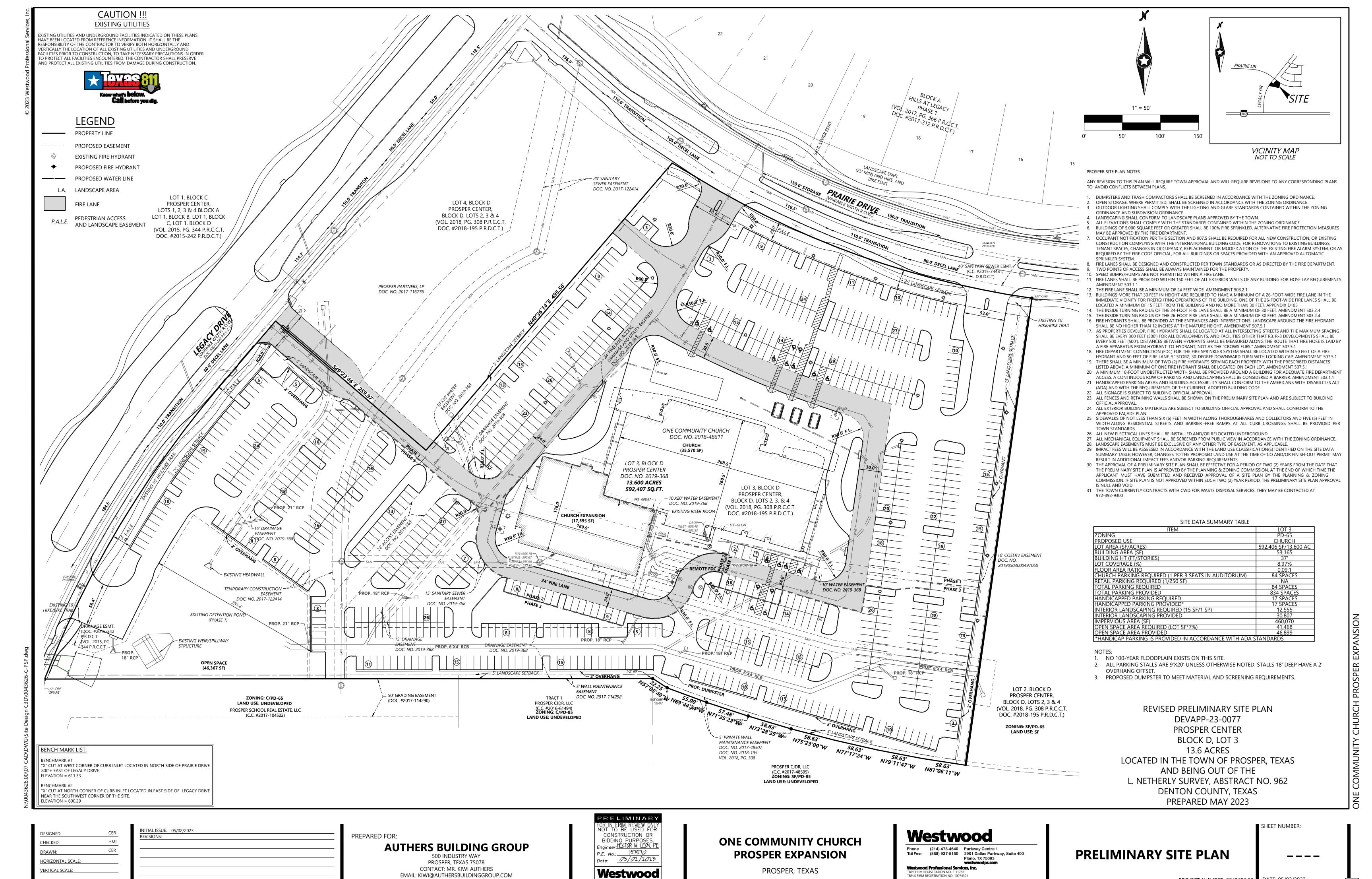


DEVAPP-23-0077

One Community Church

Preliminary Site Plan

45



PROJECT NUMBER: 0043626.00 DATE: 05/02/2023

PROSPER A Place Where Everyone Matters

PLANNING

To: Planning & Zoning Commission Item No. 3j

From: Dakari Hill, Senior Planner

Through: David Soto, Planning Manager

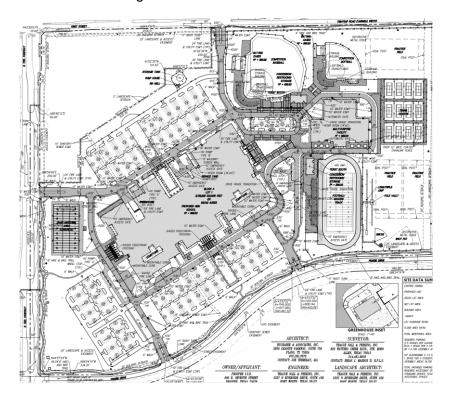
Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Consider and act upon a request for a Site Plan for a Public School, on 85.5± acres, located on the southeast corner of West First Street and South Teel Parkway. The property is zoned Planned Development-48 (PD-48) Grey Tract 163. (DEVAPP-23-0065)

Description of Agenda Item:

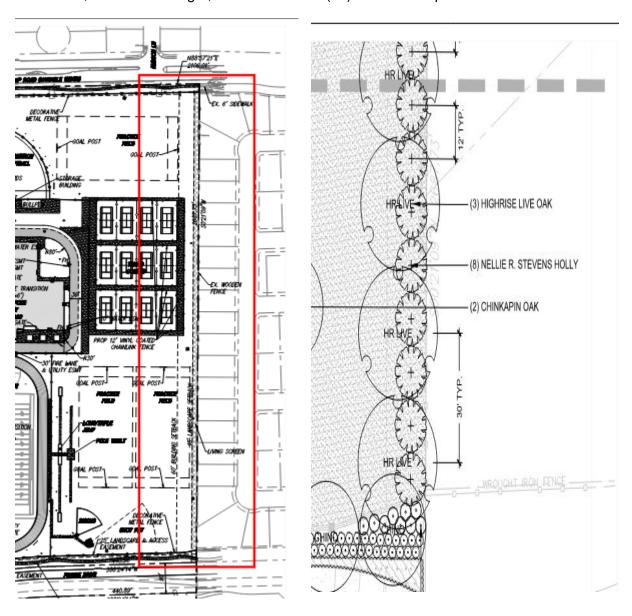
The Site Plan shows a 550,875 square foot building and a 75,556 square foot multi-purpose building with outdoor fields for a high school as shown below:



Living Screen Request

A solid screening wall is required along non-residential and residential. Currently on site, a 6' cedar fence has been built by the subdivision (The Parks at Legacy). Instead of a double wall, the applicant is requesting a living screen. Per the zoning ordinance, Planning and Zoning Commission may approve a living screen instead of a solid screening wall.

As shown below, the solid living screen consists of Nellie R. Stevens Holly shrubs, six-foot (4'-5') on centers, 7'-8' feet in height, within the fifteen (15) foot landscape area.



Page 2 of 2

48

Access will be provided from West First Street, South Teel Parkway, and Prairie Drive. The Site Plan (DEVAPP-23-0065) conforms to the Planned Development-48 (PD-48) development standards.

Attached Documents:

- 1. Location Map
- 2. Site Plan

Town Staff Recommendation:

Town staff recommends approval of the Site Plan, subject to:

- 1. Planning & Zoning Commission of solid living screening in lieu of a masonry wall.
- 2. Town staff approval of civil engineering, irrigation plan, and address plan.
- 3. Town staff approval of all fire hydrants, fire department connections (FDC) and fire lanes, including widths, radii, and location.

Page 3 of 2 49



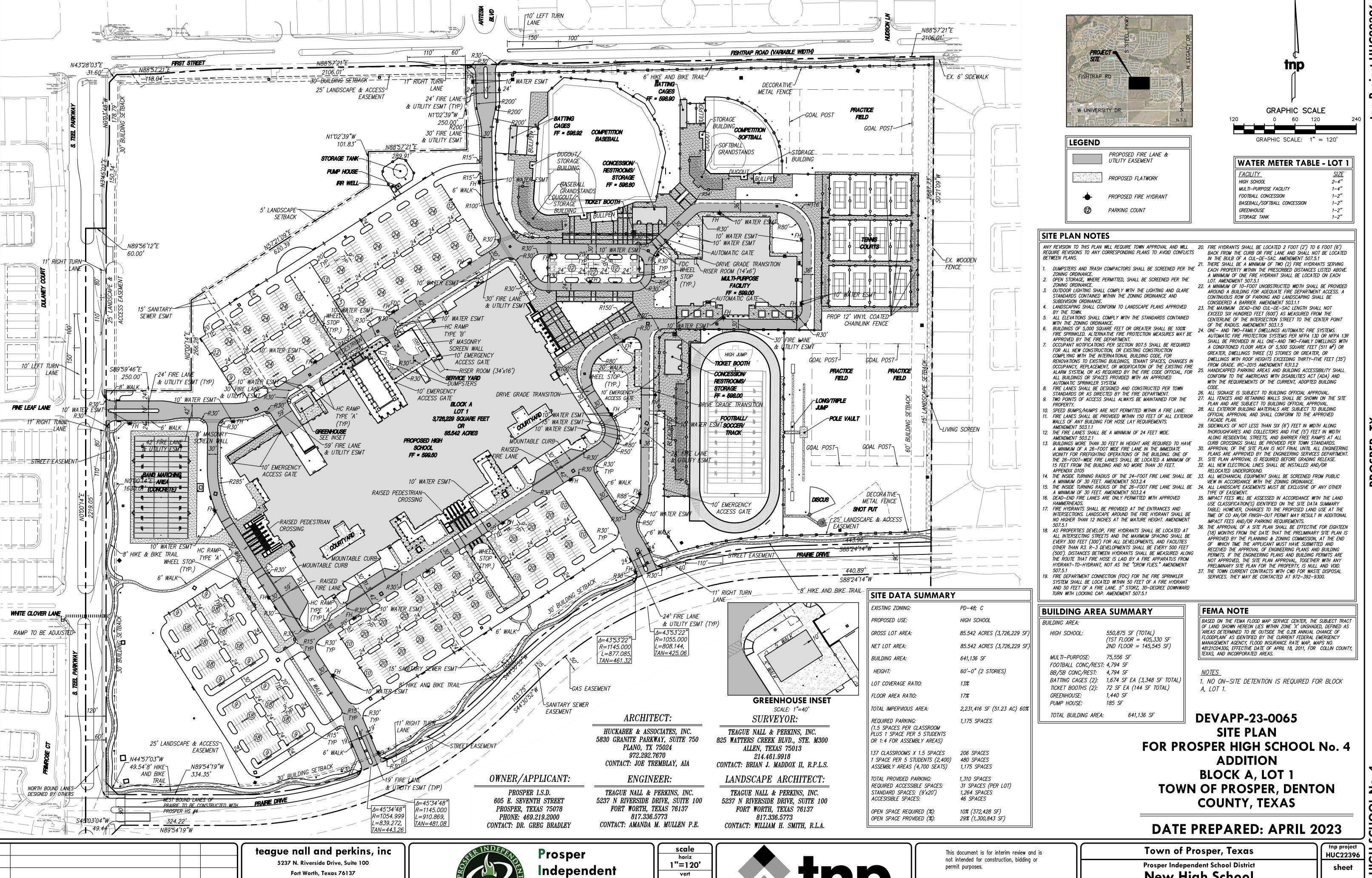




Prosper High School #4

50

Site Plan



date

APR 2023

School

District

Fort Worth, Texas 76137

817.336.5773 ph 817.336.2813 fx

www.tnpinc.com

TBPELS: ENGR F-230; SURV 10011600, 10011601, 10194381

GBPE: PEF007431; TBAE: BR 2673

revision

by date

AMANDA M. MULLEN, P.E. Date: MAY 2023

Prosper Independent School District New High School

SITE PLAN

PLANNING



To: Planning & Zoning Commission Item No. 4.

From: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Conduct a Public Hearing, and consider and act upon a request to rezone 69.9± acres from Agriculture (A), a portion of Planned Development-40 (PD-40), and a portion of Single Family-12.5 (SF-12.5) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development, located on the southeast corner of Prosper Trail and Teel Parkway. (Z21-0010)

History:

The applicant was originally tabled on April 18, 2023. The applicant revised the conceptual layout due to some of the concerns based on comments made by Artesia at the April 18 meeting. The item was also tabled at the May 16, 2023 meeting. Since then, the applicant has made modifications to remove the retirement housing development and to develop the entire tract of land as Single Family. This will consist of lots starting at a minimum of 10,000sqft.

Description of Agenda Item:

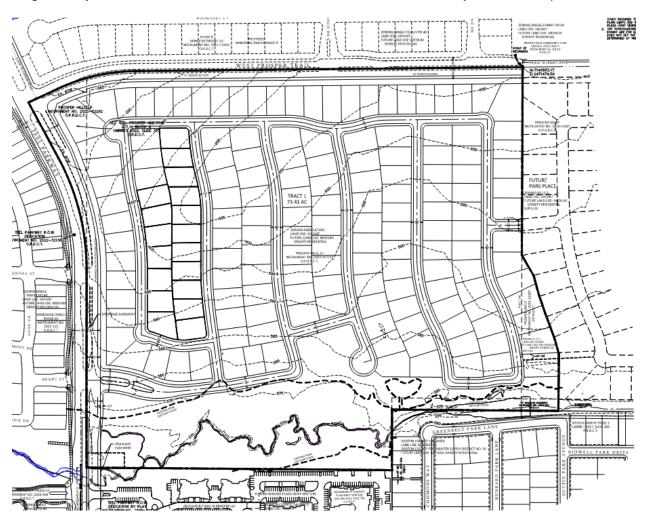
The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Agriculture (A), a portion of Planned Development-40 (PD- 40), and a portion of Single Family-12.5 (SF-12.5)	Single Family Residential (Windsong Ranch, Phase 6A)	Medium Density Residential
North	Planned Development-40 (PD-40)	Single Family Residential (Windsong Ranch, Phase 8, 9, and 10)	Medium Density Residential
East	Single Family-12.5 (SF-12.5)	Single Family Residential (Park Place)	Medium Density Residential
South	Artesia	Artesia	High Density Residential

West	Planned Development-40 (PD-40)	Single Family Residential (Legacy Garden)	Medium Density Residential
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Requested Zoning

The purpose of this request is to rezone Agriculture (A), a portion of Planned Development-40 (PD-40), and a portion of Single Family-12.5 (SF-12.5) to Planned Development-Single Family (PD-SF), generally to allow for a private residential development. The applicant is proposing 170 single family detached lots, the maximum number of lots with a density of 2.32 lots per acre.



Below is a comparison table outlining the proposed development standards that deviate from the minimum standard per the zoning ordinance. These do not include all the deviations. Based on the information below there is very little deviation from our SF-10 Zoning District to the proposed development standards. The applicant will enter into a development agreement for building materials. The applicant will follow the Town of Prosper exterior construction of residential buildings Section 9.8.

Comparison Table Tract 1				
	Town of Prosper SF-10	New Planned Development		
Minimum Lot Area	10,000sqft	10,000sqft		
Minimum Lot Width	80'	80'		
Minimum Lot Depth	125'	100'		
Size of Yards	Front Yard 25'	Front Yard 25'		
	Side Yard 8' Interior, 15'	Side Yard 8' Interior, 15'		
	Corner	Corner		
	Rear Yard 25'	Rear Yard 25'		
Minimum Dwelling area	1,800 Square Feet	2,400 Square Feet		
Maximum Lot Coverage	45%	50%		
Maximum Height	Two and a half stories, no greater than 40'.	Two and a half stories, no greater than 40'.		
Garages	All homes shall have a	All homes shall have a		
	minimum enclosed parking	minimum enclosed parking		
	area (garage) of 400 square	area (garage) of 400 square		
	feet	feet		
Exterior Materials	1.The exterior facades shall	Follows Town of Prosper		
	be constructed of 100	Requirements		
	percent masonry, unless			
	otherwise specified in this			
	ordinance.			
	2.Cementatious fiber board is			
	considered masonry, but may			
	only constitute 50 percent of			
	stories other than the first			
	story.			
	3. Cementatious fiber board			
	may be used for architectural			
	features, including window			
	box-outs, bay windows, roof			
	dormers, garage door			
	headers, columns, or other			
	architectural features			
	approved by the Building			
	Official.			
	* Masonry Construction			
	constitutes clay fired brick,			
	natural and manufactured			
	stone, granite, marble, and			
	stucco as exterior			
	construction materials for all			
	structures			

<u>Future Land Use Plan</u> – The Future Land Use Plan recommends Residential Medium Density. Residential Medium Density includes lot sizes that range between 12,500sqft and 20,000sqft in size. The density ranges between 1.6 dwelling units and 2.5 dwelling units. Although the lot sizes vary as mentioned in the Comprehensive Plan, the applicant is proposing a 2.32 density in dwelling units. Therefore, the proposed zoning request does conform to the Comprehensive Plan.

Residential Medium Density

Medium density residential is also representative of single family detached dwelling units. Lot sizes in medium density residential neighborhoods could range between 12,500 and 20,000 square feet in size. A variation in lot sizes may be permitted to achieve a goal range in density. While a variety of lot sizes may be used within medium density residential neighborhoods, the gross density of such developments will typically not be less than 1.6 dwelling units per acre or greater than 2.5 dwelling units per acre.



<u>Thoroughfare Plan</u> – The property is bounded to the west by Teel Parkway and north by Prosper Trail.

<u>Parks Master Plan</u> – Currently, the Parks Master Plan does not identify a park on the subject property. A 10' trail will be provided along Teel Parkway and Prosper Trail.

Legal Obligations and Review:

Zoning is discretionary. Therefore, the Planning & Zoning Commission is not obligated to approve the request. Notification was provided to neighboring property owners as required by state law. To date, staff has received 5 responses to the proposed zoning request.

Attached Documents:

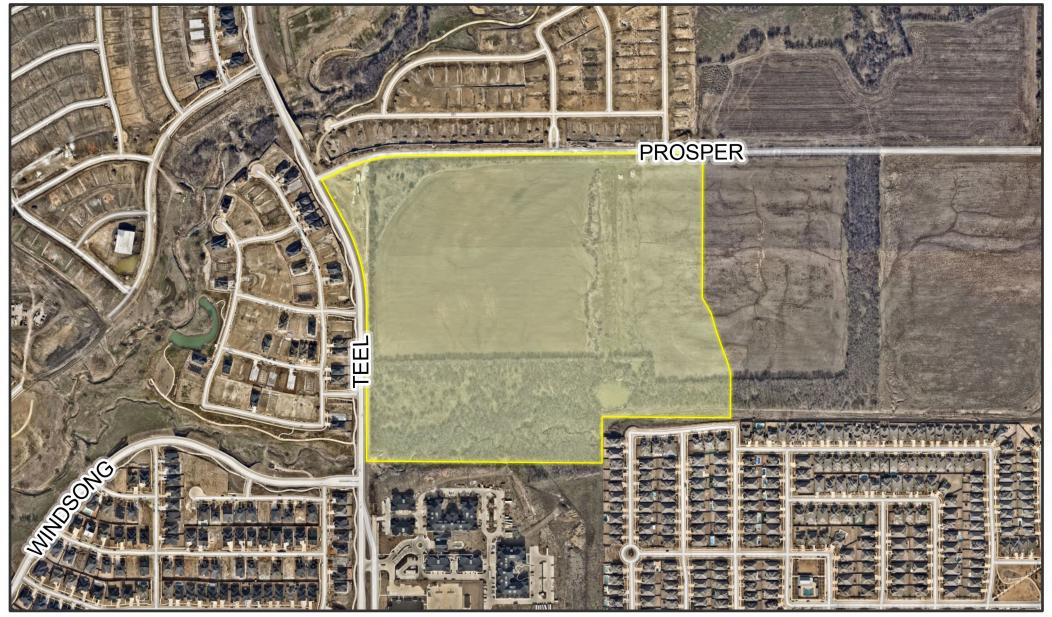
- 1. Aerial and Zoning Maps
- 2. Proposed Exhibits
- 3. Comprehensive Plan Future Land Use Types
- 4. Reply Forms

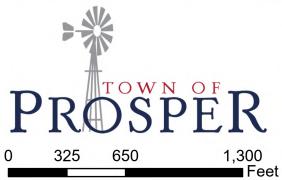
Town Staff Recommendation:

Town Staff analyzed the request and recommends approval of the zoning request.

Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing for this item will be scheduled for the Town Council at their Regular meeting on June 27, 2023.





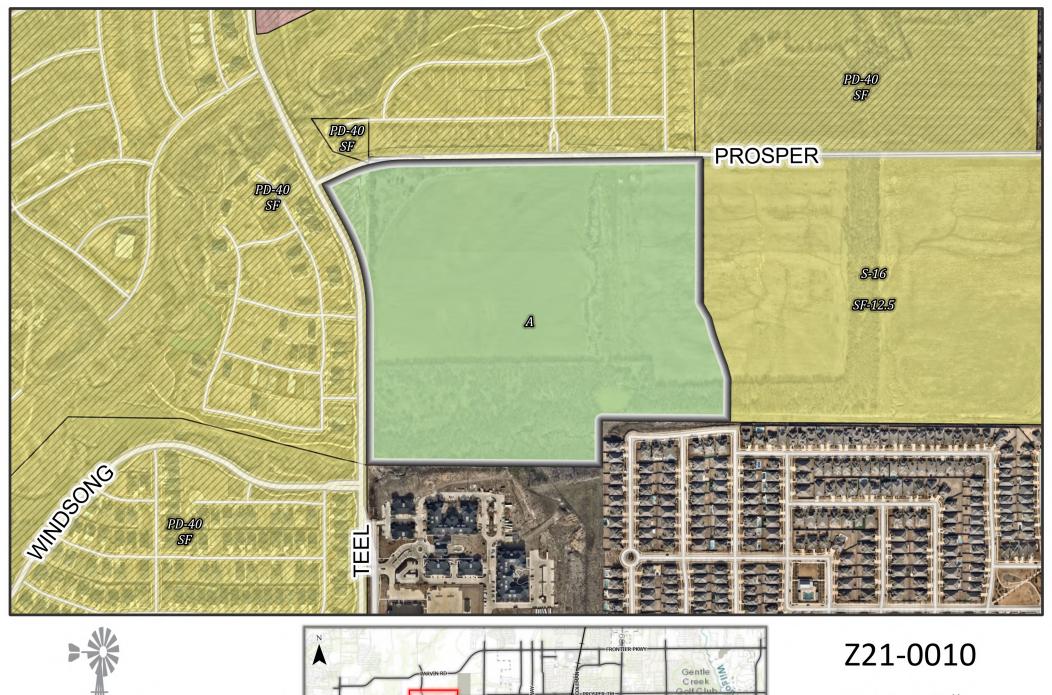


Z21-0010

Prosper Hills

57

Planned Development







Prosper Hills

Planned Development

58

Submittal Document in Support of

Prosper Hills

(subject to name change prior to final approval)

A Planned Development District in the Town of Prosper, Texas

June 1, 2023

Table of Contents

Page 3	Exhibit "A" - Zoning Exhibit
Page 4	Exhibit "B" - Legal Description
Page 6	Exhibit "C" - Statement of Intent and Purpose
Page 7	Exhibit "D" - Development Standards
Page 9	Exhibit "E" - Concept Plan

EXHIBIT "A"

Zoning Exhibit

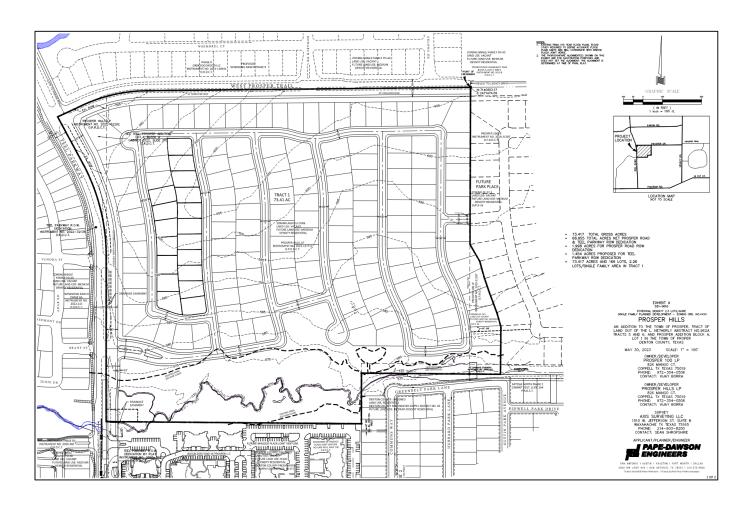


EXHIBIT "B"

Legal Description for Zoning 73.417 ACRES

BEING a tract of land located in the L. NETHERLY SURVEY, ABSTRACT NO. 962, Denton County, Texas and being all of that tract of land described in Deed to Prosper Hills, LP, recorded in Instrument No. 2022-117712, Official Public Records, Denton County, Texas (O.P.R.D.C.T.) and being all of Lot 1, Block A, SEC TEEL-PROSPER ADDITION, an Addition to the Town of Prosper, Denton County, Texas, according to the Conveyance Plat of record filed in Cabinet 2022, Slide 310, Official Records, Denton County, Texas (O.R.D.C.T.) and described in Deed to Prosper Hills LP, recorded in Instrument No. 2022-52292, O.P.R.D.C.T., and being part of that tract of land described in Deed to Prosper 100 LP, recorded in Instrument No. 2019-21287, O.P.R.D.C.T., and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found at the northeast corner of said Prosper Hills, LP tract and the northwest corner of said Prosper 100 LP tract;

THENCE S 00° 12' 38" W, along the east line of said Prosper Hills, LP tract and the west line of said Prosper 100 LP tract, passing a 1/2" iron rod found at a distance of 19.14 feet, and continuing in all for a total distance of 805.79 feet to a point for corner;

THENCE Leaving said east line of said Prosper Hills, LP tract, over and across said Prosper 100 LP tract, the following six (6) courses and distances:

S 30° 13' 29" E, a distance of 98.75 feet to a point for corner;

S 15° 33' 55" E, a distance of 92.94 feet to a point for corner;

S 19° 11' 38" E, a distance of 92.93 feet to a point for corner;

S 20° 33′ 12″ E, a distance of 93.06 feet to a point for corner;

S 15° 53' 05" E, a distance of 74.81 feet to a point for corner;

S 00° 27' 40" W, a distance of 243.63 feet to a point for corner on the south line of said Prosper 100 LP tract and the north line of Lot 3, Block X, ARTESIA NORTH PHASE 2, an Addition to Denton County, Texas, according to the Plat of record filed in Cabinet 2017, Slide 164, Plat Records, Denton County, Texas (P.R.D.C.T.);

THENCE N 89° 32' 20" W, along the north line of said Addition, a distance of 712.65 feet to a point for an interior ell corner of said Prosper Hills, LP tract and the northwest corner of said Addition;

THENCE S 00° 03' 28" W, a distance of 259.13 feet to a point for corner;

THENCE N 89° 31' 47" W, a distance of 1,308.00 feet to a point for the southwest corner of said Prosper Hills, LP tract;

THENCE N 00° 08' 41" W, a distance of 149.49 feet to a point for corner;

THENCE N 00° 02' 02" E, a distance of 699.00 feet to a point at the beginning of a curve to the left having a central angle of 28° 21′ 58″, a radius of 1002.46 feet, and a chord bearing and distance of N 14° 12′ 49″ W, 491.25 feet;

THENCE Along said curve to the left, an arc distance of 496.30 feet to a point on the centerline of Teel Parkway;

THENCE N 28° 23′ 48″, along said centerline, a distance of 270.09 feet to a point at the intersection of Teel Parkway and West Prosper Trail;

THENCE N 64° 52′ 39″ E, easterly along the centerline of said West Prosper Trail, a distance of 137.22 feet to a point at the beginning of a curve to the right having a central angle of 10° 22′ 49″, a radius of 800.48 feet, and a chord bearing and distance of N 70° 04′ 03″ E, 144.82 feet;

THENCE Along said curve to the right, an arc distance of 145.02 feet to a point at the beginning of a compound curve to the right, having a central angle of 04° 27′ 58″, a radius of 800.48 feet, and a chord bearing and distance of N 77° 29′ 27″ E, 62.38 feet;

THENCE Along said compound curve to the right, an arc distance of 62.40 feet to a point at the beginning of a compound curve to the right, having a central angle of 09° 40′ 15″, a radius of 800.48 feet, and a chord bearing and distance of N 84° 33′ 34″ E, 134.95 feet;

THENCE Along said compound curve to the right, an arc distance of 135.11 feet to a point;

THENCE N 89° 23′ 51″ E, continuing along said centerline of West Prosper Trail, a distance of 100.77 feet to a point;

THENCE N 89° 23′ 41″ E, a distance of 1,560.15 feet to the **POINT OF BEGINNING** and containing 3,198,044.52 square feet, or 73.417 acres of land, more or less.

EXHIBIT "C"

Statement of Intent and Purpose for Prosper Hills, Town of Prosper, Texas

The purpose of this PD is to allow for the creation of a private single-family gated residential community that reflects the high-quality standards set forth by the town and citizens of Prosper, Texas. We anticipate these lots to be developed as individual custom homes. Located at the southeast corner of West Prosper Trail and Teel Parkway, Prosper Hills will be privately gated with private streets. Lot sizes will be a minimum of 10,000 square feet and will blend in with the surrounding developments.

EXHIBIT "D"

Development Standards for Prosper Hills. Town of Prosper, Texas

<u>Conformance with the Town's Zoning Ordinance and Subdivision Ordinance:</u> Except as otherwise set forth in these Development Standards, the regulations of the Town's Zoning Ordinance (as it currently exists or may be amended) and Subdivision Ordinance (as it currently exists or may be amended) shall apply.

I. Prosper Hills Tract 1 – Single-Family Residential

- **A.** <u>General Description:</u> This property may develop, under the standards for SF-10 as contained in the Town's Zoning Ordinance as it exists or may be amended, as front entry lot product subject to the specific provisions contained herein below. There will be no alley-served lots within the property. The streets will be private gated streets.
- B. Park: Parkland dedication shall be handled via cash in lieu of.
- **C.** <u>Density:</u> The maximum number of single-family detached lots shall be 170. The maximum density allowed shall be 2.32 lots per acre.

D. Area and building regulations:

- **1. Single-Family Lots:** Should a discrepancy exist between the City Zoning or Subdivision Ordinance and the standards within this PD, the language within shall prevail. The area and building standards for the single-family lots are as follows:
 - (a) **Minimum Lot Area:** 10,000 square feet.
 - (b) Minimum Lot Width: The minimum lot width shall be 80' as measured along the front setback, except for lots located on a culde-sac, curve or eyebrow which may have a minimum width of 65' at the front setback provided all other requirements of this section are met.
 - (c) Minimum Lot Depth: 100'
 - (d) Size of Yards:

- (1) **Minimum Front Yard:** The front yard setback shall be twenty-five (25) feet on all single-family residential lots.
- (2) **Minimum Side Yard:** 8' for interior yards. 15' on corner adjacent to a right-of-way.
- (3) Minimum Rear Yard: 20'
- (e) **Minimum Dwelling Area:** 2,400 square feet.
- (f) Maximum Lot Coverage: 50%
- (g) **Maximum Height:** Two and a half stories, no greater than 40'.
- (h) **Garages:** All homes shall have a minimum enclosed parking area (garage) of 400 square feet.
 - (1) Homes shall have a minimum of two car garages. Carports shall not be permitted.
 - (2) Front facing garages are permitted to extend to the front façade of the main structure but may not encroach into the required front yard.

E. Entry Points & Private Streets

1. Gated entries and private streets shall be allowed.

EXHIBIT "E"

Concept Plan



Land Use Types

Residential Low Density

This land use is indicative of large-lot single-family homes. Typically speaking, lot sizes within any low density development will range between 15,000 square feet and 1+ acre in size. While a variety of lot sizes may be used, the total gross density of low density residential neighborhoods should not exceed 1.6 dwelling units per acre. Large-lot homes will provide a continuation of the rural atmosphere and feel that was intensely expressed by Prosper's residents. Most low density residential areas will be located in Northwest and Northeast Prosper.





Residential Medium Density

Medium density residential is also representative of single family detached dwelling units. Lot sizes in medium density residential neighborhoods could range between 12,500 and 20,000 square feet in size. A variation in lot sizes may be permitted to achieve a goal range in density. While a variety of lot sizes may be used within medium density residential neighborhoods, the gross density of such developments will typically not be less than 1.6 dwelling units per acre or greater than 2.5 dwelling units per acre.







Residential High Density

High density residential represents the most intense residential land uses permitted in Prosper. High density single family uses will consist of developments greater than 2.5 dwelling units per acre and lot sizes smaller than 10,000 square feet. Within Prosper, the high-density residential district is reflective of the Artesia development, where single family residential lot sizes and dwelling units per acre will be substantially higher than the rest of the community. High density residential may be located within the Dallas North Tollway, Highway 380, Town Center and Old Town Districts. In such areas, high density residential may take the form of multifamily or single family attached dwelling units and may include mixed-use lofts/apartments, patio homes, snout houses, brownstones and townhomes.





Retail and Neighborhood Services

Neighborhood services typically include retail establishments that provide merchandise for retail sale, banks, neighborhood office and small medical offices. Retail uses are particularly important because they contribute to Prosper's tax base through both property and sales taxes, making their inclusion attractive and often times competitive. Within Prosper, neighborhood service uses will likely occur at major intersections along the Dallas North Tollway, Highway 380 and Preston Road corridors. Neighborhood service uses should also be strategically placed along the Town's perimeter in order to attract patrons from neighboring communities, enhancing sales tax revenue opportunities. The majority of neighborhood service activity within Prosper will likely be included within the Dallas North Tollway, Highway 380, Town Center and Old Town districts.





Dallas North Tollway District

The Dallas North Tollway district will consist of the most intense land uses within Prosper. A diverse mixture of office, retail and residential will likely develop along the corridor. Mid-rise office (up to 12 stories) may be permitted throughout the corridor. Office buildings should be designed for a "campus feel"—they should be oriented towards common public space with significant landscaping and should be linked by a pedestrian network. A common architectural theme should also be established for a consistent visual appearance. Mixed-use development should be encouraged and should contain a mixture of office, retail and residential uses. Mixed-use lofts/apartments would be the most appropriate residential use within this district. Structured parking should be encouraged in more intense areas to limit the presence and visibility of large parking lots. Structured parking should be oriented in a way that minimizes visibility from the Tollway.





Highway 380 District

Much like the Dallas North Tollway district, the Highway 380 district will contain a variety of different uses. The major contrast between Highway 380 and other districts will be the inclusion of a big box development and commercial service uses. Types of appropriate commercial include hotels, banks, vehicle refilling stations with a convenience store, home service centers with outside storage, garden center with outside storage and other similar uses which serve the community but are not necessarily desired on Preston Road or within the Dallas North Tollway corridor. Residential land uses may be appropriate within certain areas, particularly away from major intersections where retail and commercial will be the highest and best land use. Residential land uses may include patio homes, snout houses, townhomes and brownstones. These residential areas may serve as a buffer between more intense activity along Highway 380 and low density residential areas to the north.







Town Center District

The Town Center district is a continuation of the area defined by previous planning efforts as a future location for a large scale mixed-use development. The Town Center would include a mixture of land uses but development will be less intense than that located along Highway 380 and the Dallas North Tollway. Retail, small scale office, and residential uses would be included within this district, but the primary intent should be focused on dining and shopping. Public space should be a major component of this area, creating space for families and residents of Prosper to meet and socialize. Open space located within the Town Center could be used for community events, festivals and school events. Urban design should accommodate the pedestrian while providing automobile access and discreet parking. Residential uses may include mixeduse lofts/apartments, patio homes, townhomes and brownstones. Areas of single family residential may also be permitted, particularly on the northern side where the development abuts the Old Town district.





Old Town District

The Old Town district is the heart of Prosper. This historic area of the community is intended to include a variety of boutique type land uses, ranging from unique and local retail establishments, restaurants and offices. Many of the historic homes within the Old Town district, particularly areas along First Street and Broadway, may gradually convert to boutique office and retail establishments. The most opportunistic possibility for a transit stop, if desired by future residents, would be within the Old Town district, which could facilitate redevelopment of the downtown area. If this occurs, high density residential options, such as live-above lofts/apartments, may be considered. The historic past of the community should be preserved. The community's beginnings as a farm community in rural Collin County are part of what defines Prosper, and these attributes should be preserved as new infill development occurs.





Business Park

A Business Park district, located to the west of the BNSF Railroad between Prosper Trial and First Street, will include a variety of potential land uses including light industrial, commercial warehousing, office storage and commercial uses with outside storage. While outside storage will likely occur and be necessary within this district, significant effort should be placed on the visual integrity of the district, particularly when located in higher visibility areas. When such uses abut roadways, larger landscape setbacks, such as 40 feet setbacks, that include berms and evergreen shrubs/trees should be used to protect the visual integrity of roadways and the public view. All outside storage should also be screened from public view and from adjacent properties. The location of the BNSF railroad and close proximity to the Dallas North Tollway provide the Business Park with significant accessibility. Uses located along First Street, Prosper Trail and other perimeter areas should incorporate a higher degree of landscaping and architectural design in order to protect the visual integrity of Prosper's roadways.









250 W. First Street Prosper, TX 75078 Phone: 972-346-3502

REPLY FORM

SUBJECT:

Zoning Case Z21-0010: The Town of Prosper has received a request to rezone 69.9± acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:

I OPPOSE the request as described in the notice of Public Hearing. If in opposition, please provide a reason for opposition. I DO NOT OPPOSE the request as described in the notice of Public Hearing.		
COMMENTS (ATTACH ADDITIONAL SHEETS IF NECE	ESSARY):	
DIBEA mount of Tree Con	The replaced	
2) theanimal's life around	(4)	
3 the Fence Type will		
siew infront of our hous	A 20090 1000 1200 18 19 10000	
Angad Fahim Name (please print)	Signature	
16000 Greenbelt Park Ln Address	0 4/18/2023 Date	
Prus Dev, TX, 75078 City, State, and Zip Code	amdad Lahim @ gmail. an	
2 14 _ 460 - 4086 Phone Number		



250 W. First Street Prosper, TX 75078 Phone: 972-346-3502

REPLY FORM

SUBJECT:

Zoning Case Z21-0010: The Town of Prosper has received a request to rezone 69.9± acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:

OPPOSE the request as described in the notice of Public Hearing. If in opposition, please provide a reason for opposition. I DO NOT OPPOSE the request as described in the notice of Public Hearing.
COMMENTS (ATTACH ADDITIONAL SHEETS IF NECESSARY):
1.) Does NOT neet FLUP requirement for Medium Densidy res
2.) Need to know plans for existing pond
3.) Need to know plans for clearing maintaining Flood Plain
4) Need to know plans For exterior wall along south borde
Name (please print) Auber Signature Signature
2317 Commons WA-1 Address Date
PROSPER TX 75078 City, State, and Zip Code Florida Hubers@aol.com E-mail Address
407-664-5268 Phone Number



250 W. First Street Prosper, TX 75078

Phone: 972-346-3502

REPLY FORM

SUBJECT:

Phone Number

Zoning Case Z21-0010: The Town of Prosper has received a request to rezone 69.9± acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:

OPPOSE the request as described in the notice of Public	Hearing If in apposition places amuide a magen for
opposition.	rrealing. If in opposition, please provide a reason for
DO NOT OPPOSE the request as described in the notice	e of Public Hearing.
COMMENTS (ATTACH ADDITIONAL SHEETS IF NECE	SSARY):
Holly Ferguson	Nolly Francis
Name (please print)	Signature
105 E. 1 St.	7/18/23
Address	Date
City, State, and Zip Code	hefergusana prosper-is
ony, otate, and zip oode	E-mail Address / T net
469-219-2000	



250 W. First Street Prosper, TX 75078 Phone: 972-346-3502

REPLY FORM

SUBJECT:

Phone Number

Zoning Case Z21-0010: The Town of Prosper has received a request to rezone 69.9± acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:

☐ I OPPOSE the request as described in the notice of Public opposition. ☐ I DO NOT OPPOSE the request as described in the notice.	
No clarity on plant, and flood pl	Anning for grun Aruss
Tino GARZA	
Name (please print)	Signature
2313 Commons Way	4/18/23 Date
PROSPER TX 75078 City, State, and Zip Code	E-mail Address
4109-951-8466	



250 W. First Street Prosper, TX 75078 Phone: 972-346-3502

REPLY FORM

SUBJECT:

Zoning Case Z21-0010: The Town of Prosper has received a request to rezone 69.9± acres from Agriculture (A) to Planned Development-Single Family (PD-SF), generally to allow for a residential development and retirement housing development.

LOCATION OF SUBJECT PROPERTY:

 □ I OPPOSE the request as described in the notice of Pu opposition. □ I DO NOT OPPOSE the request as described in the no 	blic Hearing. If in opposition, please provide a reason for tice of Public Hearing.
COMMENTS (ATTACH ADDITIONAL SHEETS IF NE	CESSARY):
Change in density, concern	with water run off and
flood zone erosion, com	con with flooding houses
Southern border	with water run off and con with flooding houses wall & landscaping along ther
Deceyles IV 100 de	7
Tommie Stowers Name (please print)	Signature Signature
16016 Greenbe It Park Ln. Address	4/18/23 Date
Prosper, TX 750 78 City, State, and Zip Code	tee, Stowers 310 gmail Com E-mail Address
Phone Number	



PLANNING

To: Planning & Zoning Commission Item No. 5

From: Doug Braches, Planner

Through: David Soto, Planning Manager

Re: Specific Use Permit – Wireless Communications and Support Structure

Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a new Wireless Communications and Support Structure, on .1± acre, located on the south side of Prosper Trail, west of Preston Country Lane. (ZONE-22-0001)

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Agricultural	Equestrian Center	Low Density Residential
North	Planned Development - 1	Residential (Developed)	Low Density Residential
East	Agricultural	Residential (Developed)	Low Density Residential
South	Planned Development - 90	Not Developed	Low Density Residential
West	Planned Development - 5	Residential (Developed)	Low Density Residential

Requested Zoning – The purpose of this request is to allow construction of a new 105' Wireless Communication and Support Structure. The Specific Use Permit shows four (4) Wireless Communication antennas that would be placed on the structure and their associated 50' by 50' lease area. These antennas would be screened and not visible to the surrounding area. The

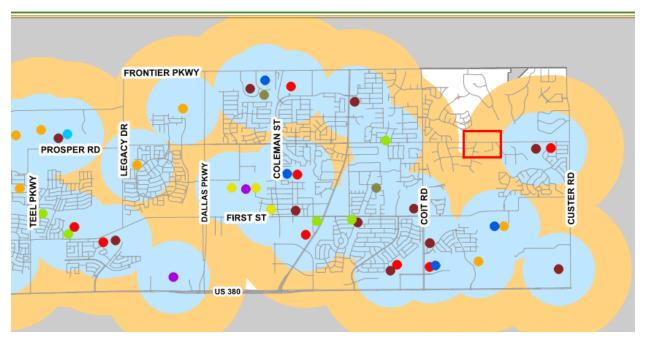
78

ground equipment is in an area currently screened with a CMU wall with stone veneer and living screen.

In 2020, The Town has completed a survey on areas of opportunities for wireless communication and support structures. The goal for this survey was to provide developers areas that were well suited for such use and to provide a comprehensive plan of communication towers for the Town of Prosper. These areas are potentially school sites, parks, or town properties. Regarding this specific request, this area is not one of those areas of opportunities. The applicant will provide reasoning during the presentation.

Wireless Communication Exhibit

Proposed Wireless Communication & Support Structure

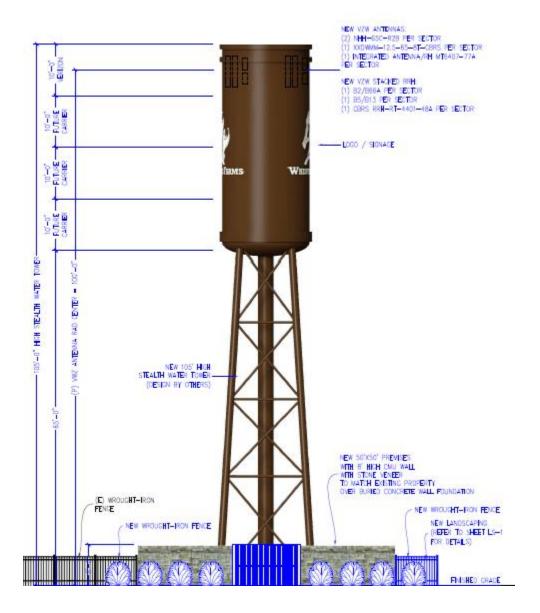


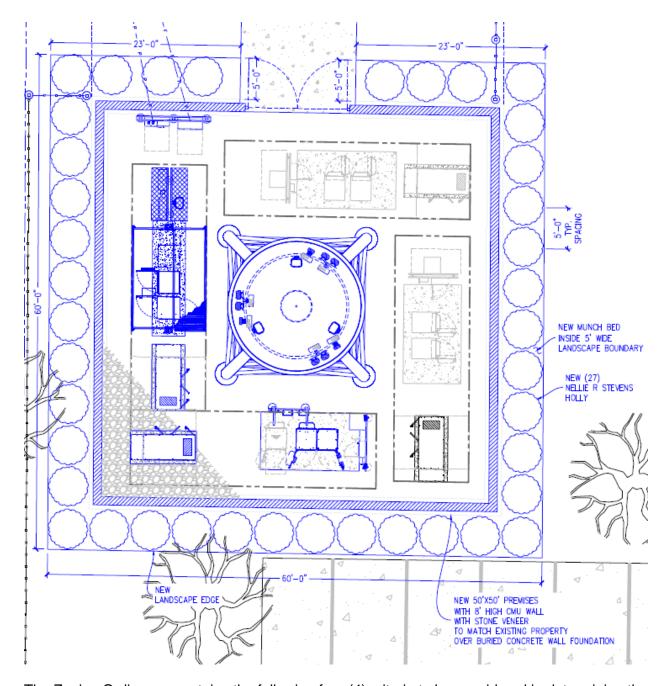


Page 2 of 5 79

Proposed Water Tower

Below are pictures of the site.





The Zoning Ordinance contains the following four (4) criteria to be considered in determining the validity of a SUP request.

- 1. Is the use harmonious and compatible with its surrounding existing uses or proposed uses?
- 2. Are the activities requested by the applicant normally associated with the requested use?
- 3. Is the nature of the use reasonable?
- 4. Has any impact on the surrounding area been mitigated?

Staff believes the applicant has satisfied the criteria and recommends approval of the request.

Future Land Use Plan – The Future Land Use Plan recommends Low Density Residential.

Page 4 of 5

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Thoroughfare Plan – This property currently has direct access to Prosper Trail.

Parks Master Plan – The Parks Master Plan does not indicate a park is needed on the subject property.

Legal Obligations and Review:

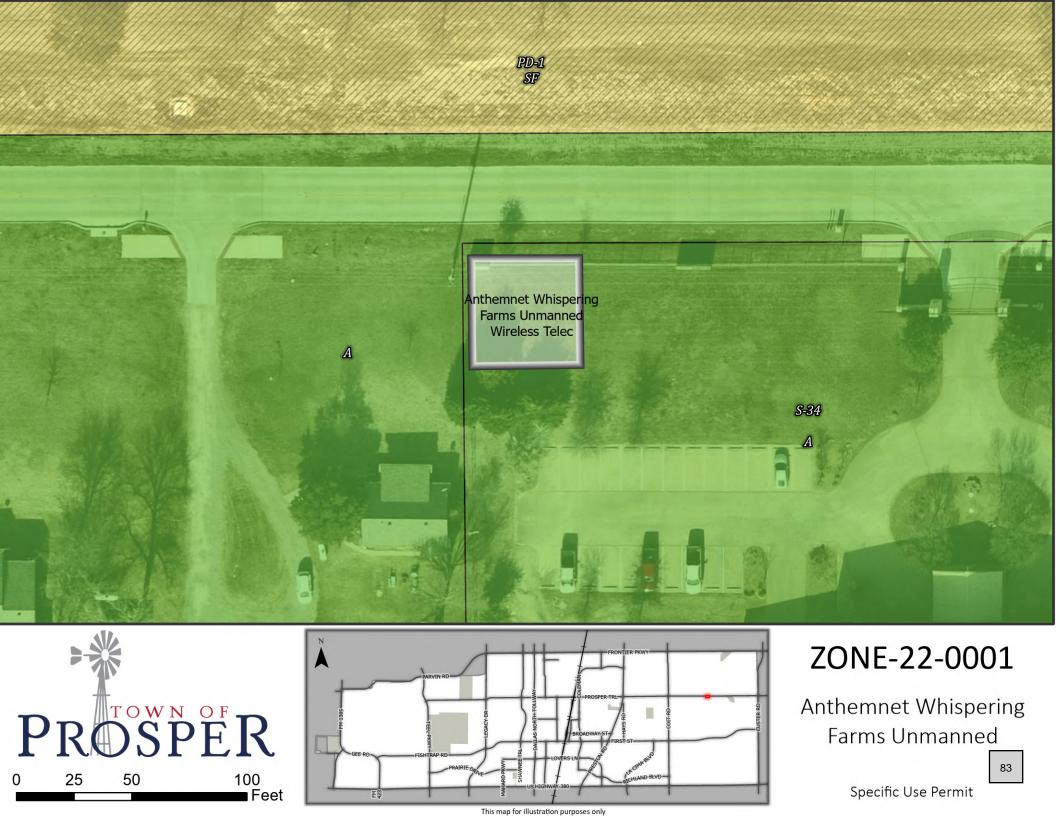
Notification was provided as required by the Zoning Ordinance and state law. To date, staff has received one reply form in opposition.

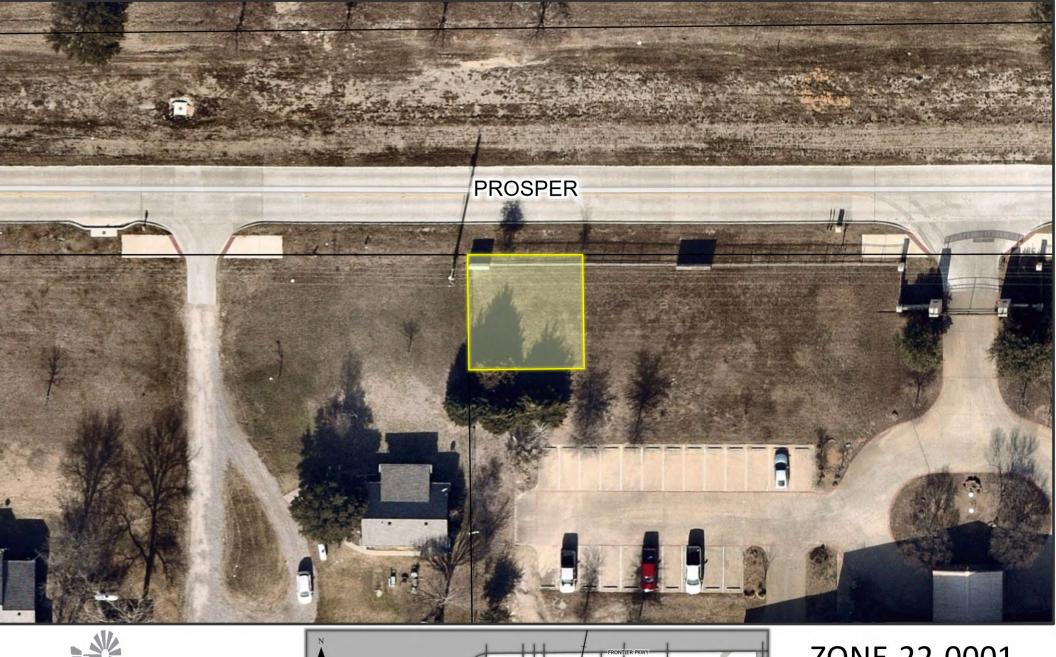
Attached Documents:

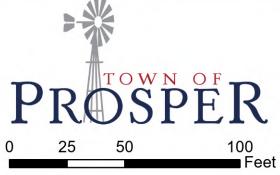
- 1. Aerial and Zoning Maps
- 2. Exhibits
- 3. Areas of opportunities map
- 4. Reply Form

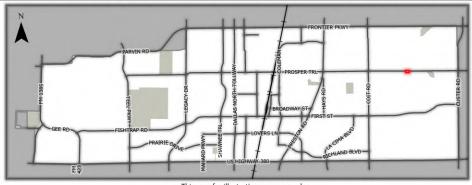
<u>Town Staff Recommendation:</u>
Town staff recommends approval of the Specific Use Permit request for a new Wireless Communications and Support Structure, on .1± acre, located on the south side of Prosper Trail, west of Preston Country Lane.

> Page 5 of 5 82







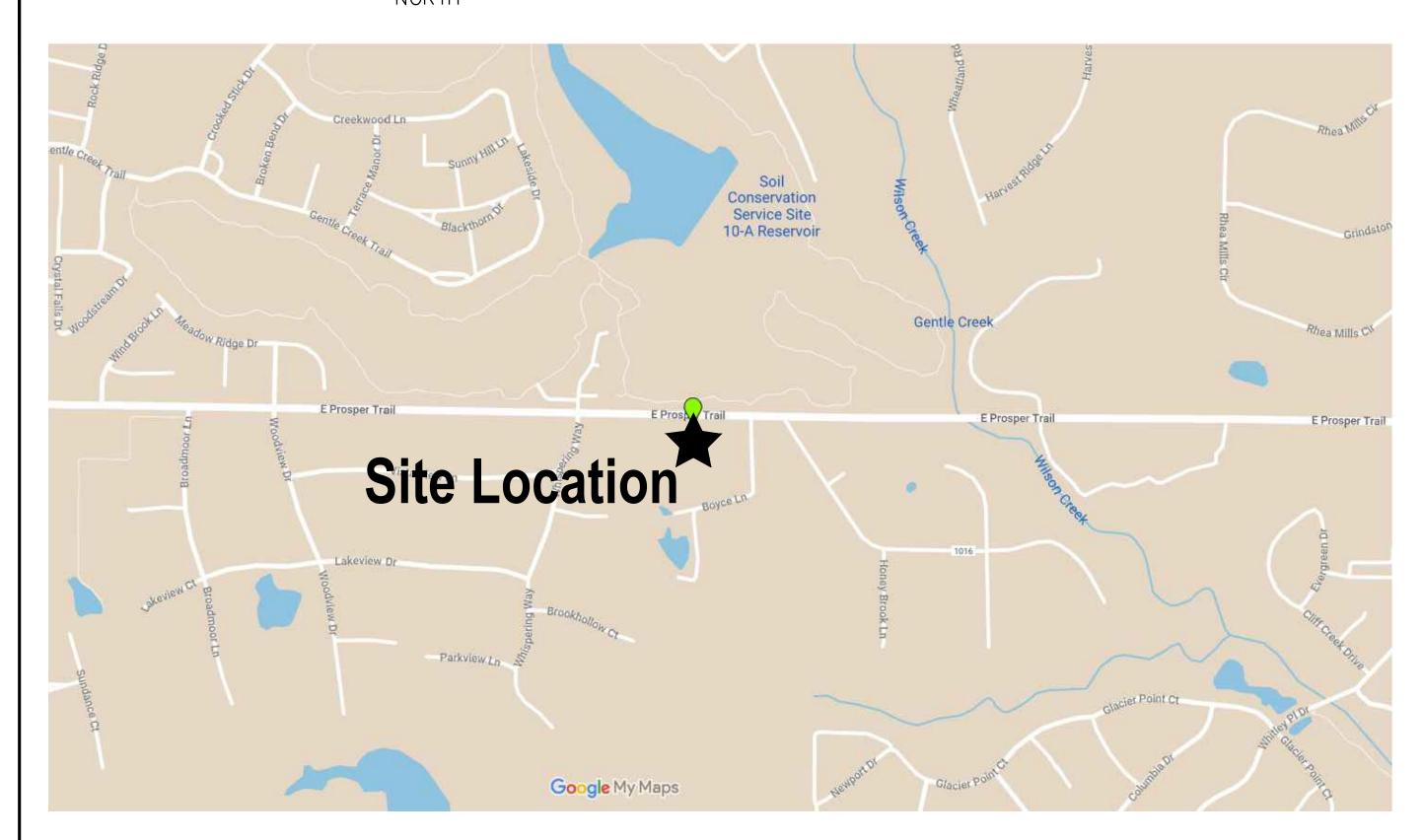


ZONE-22-0001

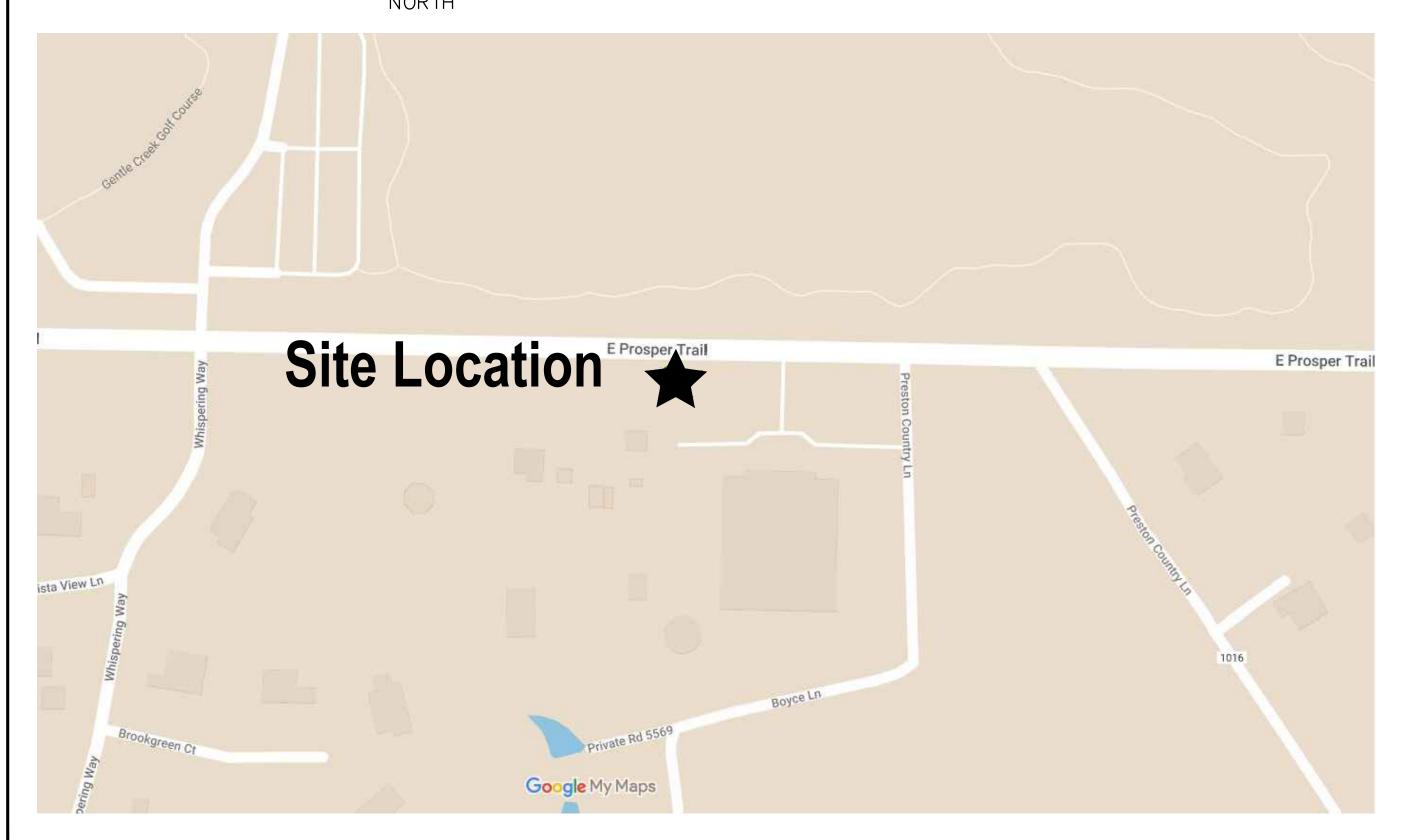
Anthemnet Whispering Farms Unmanned

Specific Use Permit

VICINITY MAP



ENLARGED MAP





PROJECT

105'-0" TOWER

NEW STEALTH TELECOMMUNICATION STRUCTURE



SITE NAME: WHISPERING FARMS

VZW FUZE ID #: 16942148 VZW SITE ID #: 617290751

SITE ADDRESS

1010 PRIVATE ROAD 5569

APN: 2846021

PROSPER, TX 75078

COLLIN COUNTY

33.247500°, -96.752083°

LEGAL DESCRIPTION

WHISPERING FARMS EQUESTRIAN CENTER

BEING LOT 1, BLOCK A, WHISPERING FARMS EQUESTRIAN CENTER ADDITION, ACCORDING TO THE FINAL PLAT THEREOF RECORDED IN VOLUME 2021 PAGE 626, UNDER FILE NUMBER 20211028010003870 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS, AND BEING THE 26.508-ACRE TRACT OWNED BY

BOILERMARKER ROCKHILL, LLC AS RECORDED UNDER COLLIN COUNTY CLERK'S FILE NUMBER 20210302000400650 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS.

SCOPE OF WORK:
NEW CELLULAR COMMUNICATIONS SITE
WITH 105' HIGH STEALTH WATER CELLULAR TOWER

- NEW 50'x50' CELL SITE COMPOUND
- NEW 8' HIGH SCREEN WALL
- NEW ELECTRIC AND FIBER SERVICE TO SITE
- NEW COMMUNITY RACK FOR POWER/TELCO DEMARCS
- NEW 105' HIGH STEALTH WATER TOWER
- NEW VERIZON WIRELESS EQUIPMENT

STAFF ______ Date Initials P&Z _____ Date Initials NEIGHBORHOOD # ______ See the Staff Approval Letter or P&Z Result Memo for a conditions associated with the approval of this project.

CATOTIONPROVAL

☐ APPROVED ☐ DENIED

PROJECT SUMMARY

SITE INFORMATION

JURISDICTION: TOWN OF PROSPER
OCCUPANCY: UNMANNED
ZONE: AGRICULTURE
CONSTRUCTION TYPE: NEW CELL SITE STEALTH TOWER
COORDINATES: 33.247561°, -96.752081°
ELEVATION: 703.9' A.M.S.L.

PROPERTY OWNER

BOILERMAKER ROCKHILL, LLC 1010 PRIVATE ROAD 5569 PROSPER, TX 75078

APPLICANT

ANTHEMNET, INC.
5944 LUTHER LANE SUITE 725
DALLAS, TX 75225
CONTACT: MAX CUMMINS
PHONE: 512-539-7151

SURVEYOR

3D DESIGN & ENGINEERING, INC.
CONTACT: HELENE F. LECANET, PHD, R.P.L.S.
PHONE: 832-510-9621

ENGINEER CONSULTANT

ALLPRO CONSULTING GROUP, INC.

9221 LYNDON B. JOHNSON FWY, SUITE 204

DALLAS, TEXAS 75243

OFFICE: (972) 231–8893

FAX: (866) 364–8375

CONTACT: SHIQIANG ZHANG, P.E.

EXHIBIT - TITLE PAGE

SHEET INDEX

SURVEY

EXHIBIT A - (BY OTHERS)

SHEET 1 of 2

SHEET 2 of 2

Z-1

EXHIBIT B - OVERALL SITE PLAN

Z-2

EXHIBIT B - ENLARGED SITE PLAN

Z-3

EXHIBIT B - COMPOUND SITE PLAN

LS-1

EXHIBIT C - LANDSCAPE PLAN

Z-4

EXHIBIT D - ELEVATION & ANTENNA PLAN

C-1

EXHIBIT D - FACADE ELEVATION NORTH/SOUTH

C-2

EXHIBIT D - FACADE ELEVATION EAST/WEST



TEXAS ONE CALL

CONTRACTOR TO CALL 48

HOURS BEFORE DIGGING!

PHONE: (800) 545-6005

INDEPENDENT LOCATORS

TO BE USED ON ALL SITES

THESE DRAWINGS ARE SCALED FOR 24"X36" SHEET



ACGI# 23-1237

DRAWN BY: CG

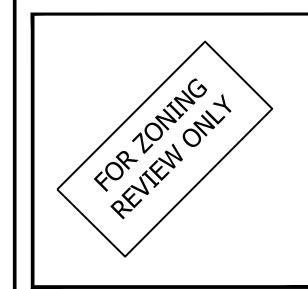
CHECKED BY: SZ

0 9/22/22 ISSUE FOR ZONING REVIEW
1 11/18/22 REVISED PER CITY COMMENTS
2 02/07/23 REVISED PER CITY COMMENTS

3 05/23/23 REVISED PER CITY COMMENTS



9221 Lyndon B Johnson Fwy Suite 204, Dallas, TX 75243 Phone: 972-231-8893 Fax: 866-364-8375 www.allprocgi.com registration no. 8242



EXHIBIT

ZONE-22-0001

'WHISPERING FARMS'

105'-0" TOWER
NEW STEALTH
TELECOMMUNICATION
STRUCTURE

OWNER BOILERMAKER ROCKHILL, LLC

LEGAL DESCRIPTION
WHISPERING FARMS
EQUESTRIAN CENTER ADDITION

EQUESTRIAN CENTER ADDITION

LOT 1, BLOCK A

FN 20211028010003870

(CALLED 26.508 AC)

ABSTRACT No. 359

TOWN OF PROSPER

COLLIN COUNTY, TX

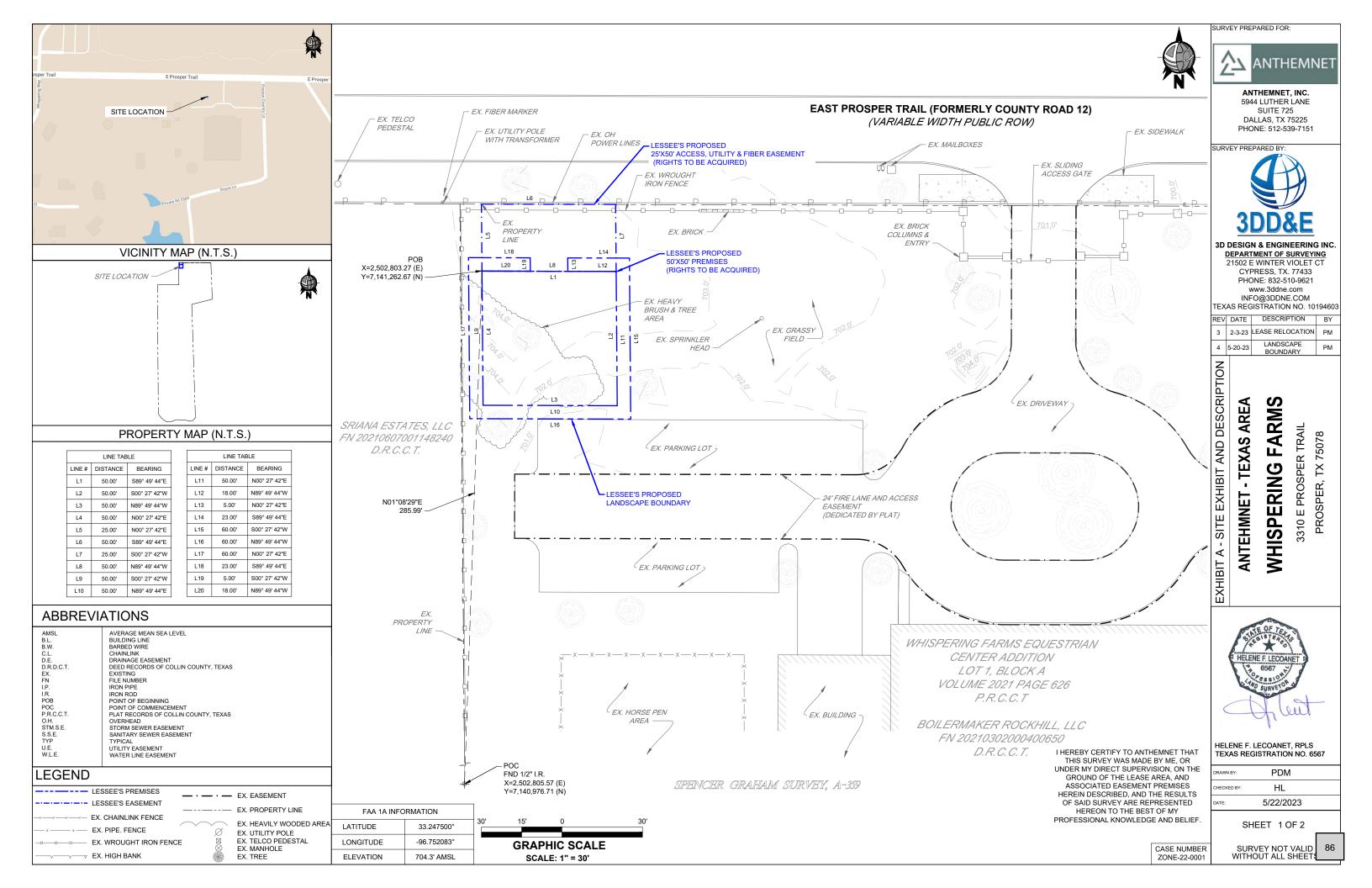
ADDRESS 1010 PRIVATE ROAD 5569 PROSPER, TX 75078

SHEET TITLE

COVER PAGE

SHEET NUMBER

_



LESSEE'S PROPOSED 50'X50' PREMISES DESCRIPTION:

BEING A LESSEE'S PROPOSED 50'X50' PREMISES CONTAINING 0.0574 ACRES (2,500.00 SQUARE FEET) OF LAND LOCATED IN THE SPENCER GRAHAM SURVEY, ABSTRACT NO. 359, COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART OF A TRACT OF LAND OWNED BY BOILERMAKER ROCKHILL, LLC AS RECORDED IN FILE NUMBER 20210302000400650 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART WHISPERING FARMS EQUESTRIAN CENTER ADDITION, LOT 1, BLOCK A, AS RECORDED IN VOLUME 2021, PAGE 626 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS, SAID 0.0574-ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS WITH ALL CONTROL REFERRED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983:

COMMENCING AT A FOUND 1/2" IRON ROD, BEING AN INTERIOR WESTERLY CORNER OF SAID LOT 1, BLOCK A, AND HAVING A STATE PLANE COORDINATE VALUE OF X=2,502,805.57 (E), Y=7,140,976.71 (N);

THENCE NORTH 01 DEGREES 08 MINUTES 29 SECONDS EAST, 285.99 FEET TO THE POINT OF BEGINNING AND NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT. HAVING A STATE PLANE COORDINATE VALUE OF X=2.502.803.27 (E), Y=7.141.262.67 (N):

THENCE SOUH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 50.00 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 50.00 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS WEST, 50.00 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 00 DEGREES 27 MINUTES 42 SECONDS WEST, 50.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0574 ACRES (2,500.00 SQUARE FEET) OF LAND.

LESSEE'S PROPOSED 25'X50' ACCESS, UTILITY & FIBER EASEMENT DESCRIPTION:

BEING A LESSEE'S PROPOSED 25'X50' ACCESS, UTILITY & FIBER EASEMENT CONTAINING 0.0287 ACRES (1,250.00 SQUARE FEET) OF LAND LOCATED IN THE SPENCER GRAHAM SURVEY, ABSTRACT NO. 359, COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART OF A TRACT OF LAND OWNED BY BOILERMAKER ROCKHILL, LLC AS RECORDED IN FILE NUMBER 20210302000400650 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART WHISPERING FARMS EQUESTRIAN CENTER ADDITION, LOT 1, BLOCK A, AS RECORDED IN VOLUME 2021, PAGE 626 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS, SAID 0.0287-ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS WITH ALL CONTROL REFERRED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983:

COMMENCING AT A FOUND 1/2" IRON ROD, BEING AN INTERIOR WESTERLY CORNER OF SAID LOT 1, BLOCK A, AND HAVING A STATE PLANE COORDINATE VALUE OF X=2,502,805.57 (E), Y=7,140,976.71 (N):

THENCE NORTH 01 DEGREES 08 MINUTES 29 SECONDS EAST, 285.99 FEET TO THE POINT OF BEGINNING AND SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT. HAVING A STATE PLANE COORDINATE VALUE OF X=2,502,803.27 (E), Y=7,141,262.67 (N);

THENCE NORTH 00 DEGREES 27 MINUTES 42 SECONDS WEST, 25.00 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 50.00 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 25.00 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS WEST, 50.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0287 ACRES (1,250.00 SQUARE FEET) OF LAND.

LESSEE'S PROPOSED LANDSCAPE BOUNDARY DESCRIPTION:

BEING A LESSEE'S PROPOSED LANDSCAPE BOUNDARY CONTAINING 0.0236 ACRES (1,030.00 SQUARE FEET) OF LAND LOCATED IN THE SPENCER GRAHAM SURVEY, ABSTRACT NO. 359, COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART OF A TRACT OF LAND OWNED BY BOILERMAKER ROCKHILL, LLC AS RECORDED IN FILE NUMBER 20210302000400650 OF THE DEED RECORDS OF COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART WHISPERING FARMS EQUESTRIAN CENTER ADDITION, LOT 1, BLOCK A, AS RECORDED IN VOLUME 2021, PAGE 626 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS, SAID 0.0236-ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS WITH ALL CONTROL REFERRED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983:

COMMENCING AT A FOUND 1/2" IRON ROD, BEING AN INTERIOR WESTERLY CORNER OF SAID LOT 1, BLOCK A, AND HAVING A STATE PLANE COORDINATE VALUE OF X=2,502,805.57 (E), Y=7,140,976.71 (N);

THENCE NORTH 01 DEGREES 08 MINUTES 29 SECONDS EAST, 285.99 FEET TO THE POINT OF BEGINNING AND INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT, HAVING A STATE PLANE COORDINATE VALUE OF X=2,502,803.27 (E), Y=7,141,262.67 (N);

THENCE SOUTH 00 DEGREES 27 MINUTES 42 SECONDS WEST, 50.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 50.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 50.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS WEST, 18.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 5.00 FEET TO A NORTHERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 23.00 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;
THENCE SOUTH 00 DEGREES 27 MINUTES 42 SECONDS WEST, 60.00 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 89 DEGREES 49 MINUTES 44 SECONDS WEST 60 00 FEET TO THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT.

THENCE NORTH 00 DEGREES 27 MINUTES 42 SECONDS EAST, 60.00 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 89 DEGREES 49 MINUTES 44 SECONDS EAST, 23.00 FEET TO A NORTHERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE SOUTH 00 DEGREES 27 MINUTES 42 SECONDS WEST, 5.00 FEET TO AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT

THENCE NORTH 89 DEGREES 49 MINUTES 43 SECONDS WEST, 18.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.0236 ACRES (1,030.00 SQUARE FEET) OF LAND.

GENERAL NOTES:

- ALL BEARINGS ARE GRID BEARINGS BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 AND ARE ROUNDED TO THE NEAREST SECOND. ALL DISTANCES ARE REPRESENTED IN GRID VALUES, BASED ON SAID HORIZONTAL DATUM AND ARE MEASURED IN US SURVEY FEET TO THE NEAREST HUNDREDTH OF FOOT.
- 2. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (GEOID18) AND ARE DETERMINED TO THE NEAREST TENTH OF FOOT.
- 3. PROVIDED ELEVATIONS, LATITUDE AND LONGITUDE VALUES ARE FROM GPS OBSERVATIONS (TYPE OF EQUIPMENT: TRIMBLE R2-TDC600, DATE OF SURVEY: 06/17/2022).
- 4. BASIS OF BEARING: GPS OBSERVATIONS CONDUCTED AT THE TIME OF THE SURVEY.
- 5. BASIS OF ELEVATION: GPS OBSERVATIONS CONDUCTED AT THE TIME OF THE SURVEY
- 6. THIS SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY AND NO BOUNDARY SURVEY OF THE PARENT TRACT WAS PERFORMED.
- 7. THIS SURVEY CONTAINS A DRAWING AND A METES & BOUNDS DESCRIPTION FOR A LESSEE'S PROPOSED 50'X50' PREMISES AND A LESSEE'S PROPOSED 25'X50' ACCESS, UTILITY & FIBER EASEMENT THAT WAS PREPARED FOR THE EXCLUSIVE USE OF ANTHEMNET, INC. AND EXCLUSIVELY FOR THE TRANSFER OF THE LESSEE PREMISES SHOWN HEREON. THE PREMISES AND ASSOCIATED EASEMENT WILL NOT BE MONIJMENTED.
- 8. THIS SURVEY WAS BASED ON INFORMATION FOUND IN THE ABSTRACTOR CERTIFICATE ISSUED BY TEXAS ABSTRACT SERVICES, CONTROL NO. 23048, DATED JULY 20, 2022.
- 9. NO WETLAND AREAS HAVE BEEN INVESTIGATED BY THIS SPECIFIC SURVEY.
- 10. ALL ZONING INFORMATION SHOULD BE VERIFIED WITH PROPER ZONING OFFICIALS.
- 11. UTILITY EASEMENTS AS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS CONDUCTED ON 06/17/2022. UNDERGROUND UTILITIES MAY EXIST AND WERE NOT PHYSICALLY LOCATED AS A PART OF THIS SURVEY.
- 12. AT THE TIME OF THE SURVEY, THE LESSEE'S PROPOSED 50'X50' PREMISES, THE LESSEE'S PROPOSED 25'X50' ACCESS, UTILITY & FIBER EASEMENT, AND THE LESSEE'S PROPOSED LANDSCAPE BOUNDARY LIED WITHIN AN UNSHADED AREA OF MINIMAL FLOOD HAZARD ZONE X ACCORDING TO FEMA FIRM PANEL MAP NUMBER 48085C0235J, EFFECTIVE 06/02/2009 (TOWN OF PROSPER, TEXAS).
- 13. LESSEE'S PROPOSED PREMISES, LESSEE'S PROPOSED EASEMENT, AND LESSEE'S PROPOSED LANDSCAPE BOUNDARY PLACEMENT ARE PER LAND OWNER, A&E, OR CUSTOMER DIRECTION AND DO NOT REFLECT ENGINEERING OR REAL ESTATE ASSESSMENT BY 3D DESIGN AND ENGINEERING. INC.

EASEMENTS:

EASEMENTS HEREON WERE LISTED IN THE ABSTRACTOR CERTIFICATE ISSUED BY TEXAS ABSTRACT SERVICES, CONTROL NO. 23048, DATED JULY 20, 2022:

- 1. ANY AND ALL EASEMENTS AND SET-BACKS AS SHOWN ON THE PLAT OF WHISPERING FARMS EQUESTRIAN CENTER ADDITION, LOT 1, BLOCK A, RECORDED IN VOLUME 2021, PAGE 626 OF THE PLAT RECORDS OF COLLIN COUNTY, TEXAS. (ALL EASEMENTS ARE LOCATED WITHIN THE PARENT TRACT, BUT ARE NOT LOCATED WITHIN THE LESSEE'S PROPOSED 50'X50' PREMISES, THE LESSEE'S PROPOSED 25'X50' ACCESS, UTILITY & FIBER EASEMENT, NOR THE LESSEE'S PROPOSED LANDSCAPE BOUNDARY)
- 2. RIGHT-OF-WAY EASEMENT DATED JANUARY 25, 1946 GRANTED TO DENTON COUNTY ELECTRIC COOPERATIVE, INC., RECORDED IN VOLUME 467, PAGE 388 OF THE DEED RECORDS OF COLLLIN COUNTY, TEXAS. (THE DEED DOES NOT HAVE SUFFICIENT DATA TO DETERMINE THE EASEMENT LOCATION)
- 3. FORTY (40) FOOT WIDE PERPETUAL PRIVATE ROAD EASEMENT AND RIGHT-OF-WAY AS SET OUT IN DEED OF EASEMENT WITH COVENANTS DATED APPRIL 1, 1981 AS RECORDED IN VOLUME 1374, PAGE 312 OF THE DEED RECORDS OF COLLLIN COUNTY, TEXAS. (THE EASEMENT IS LOCATED WITHIN THE PARENT TRACT, BUT IS NOT LOCATED WITHIN THE LESSEE'S PROPOSED 50'X50' PREMISES, THE LESSEE'S PROPOSED 25'X50' ACCESS, UTILITY & FIBER EASEMENT, NOR THE LESSEE'S PROPOSED LANDSCAPE BOUNDARY)
- 4. ACCESS EASEMENT DATED JANUARY 24, 2006 GRANTED TO THE TOWN OF PROSPER, TEXAS AS RECORDED IN FILE NUMBER 20060324000387290 OF THE DEED RECORDS OF COLLLIN COUNTY, TEXAS. (THE EASEMENT IS LOCATED WITHIN THE PARENT TRACT, BUT IS NOT LOCATED WITHIN THE LESSEE'S PROPOSED 50'X50' PREMISES, THE LESSEE'S PROPOSED 25'X50' ACCESS, UTILITY & FIBER EASEMENT, NOR THE LESSEE'S PROPOSED LANDSCAPE BOUNDARY)
- 5. ACCESS EASEMENT AS SET OUT IN CURRENT OWNERSHIP DEED TO BOILEMAKER ROCKHILL, LLC, DATED MARCH 1, 2021 AS RECORDED IN FILE NUMBER 20210302000499650 OF THE DEED RECORDS OF COLLLIN COUNTY, TEXAS. (THE EASEMENT IS LOCATED WITHIN THE PARENT TRACT, BUT IS NOT LOCATED WITHIN THE LESSEE'S PROPOSED 50'X50' PREMISES, THE LESSEE'S PROPOSED 25'X50' ACCESS, UTILITY & FIBER EASEMENT. NOR THE LESSEE'S PROPOSED LANDSCAPE BOUNDARY)

I HEREBY CERTIFY TO
ANTHEMNET THAT THIS SURVEY
WAS MADE BY ME, OR UNDER MY
DIRECT SUPERVISION, ON THE
GROUND OF THE LEASE AREA,
AND ASSOCIATED EASEMENT
PREMISES HEREIN DESCRIBED,
AND THE RESULTS OF SAID
SURVEY ARE REPRESENTED
HEREON TO THE BEST OF MY
PROFESSIONAL KNOWLEDGE AND
BELIEF.

SURVEY PREPARED FOR:



ANTHEMNET, INC. 5944 LUTHER LANE SUITE 725 DALLAS, TX 75225 PHONE: 512-539-7151

SURVEY PREPARED BY:



3D DESIGN & ENGINEERING INC.

DEPARTMENT OF SURVEYING
21502 E WINTER VIOLET CT
CYPRESS, TX. 77433
PHONE: 832-510-9621
www.3ddne.com
INFO@3DDNE.COM
TEXAS REGISTRATION NO. 10194603

 REV
 DATE
 DESCRIPTION
 BY

 3
 2-3-23
 LEASE RELOCATION
 PM

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 5-20-23
 LANDSCAPE
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EXHIBIT

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EXHIBIT

FARMS

3310 E PROSPER TRA

ANTEHMNET - TEX WHISPERING

HELENE F. LECOANET D

HELENE F. LECOANET, RPLS TEXAS REGISTRATION NO. 6567

DRAWN BY: PDM

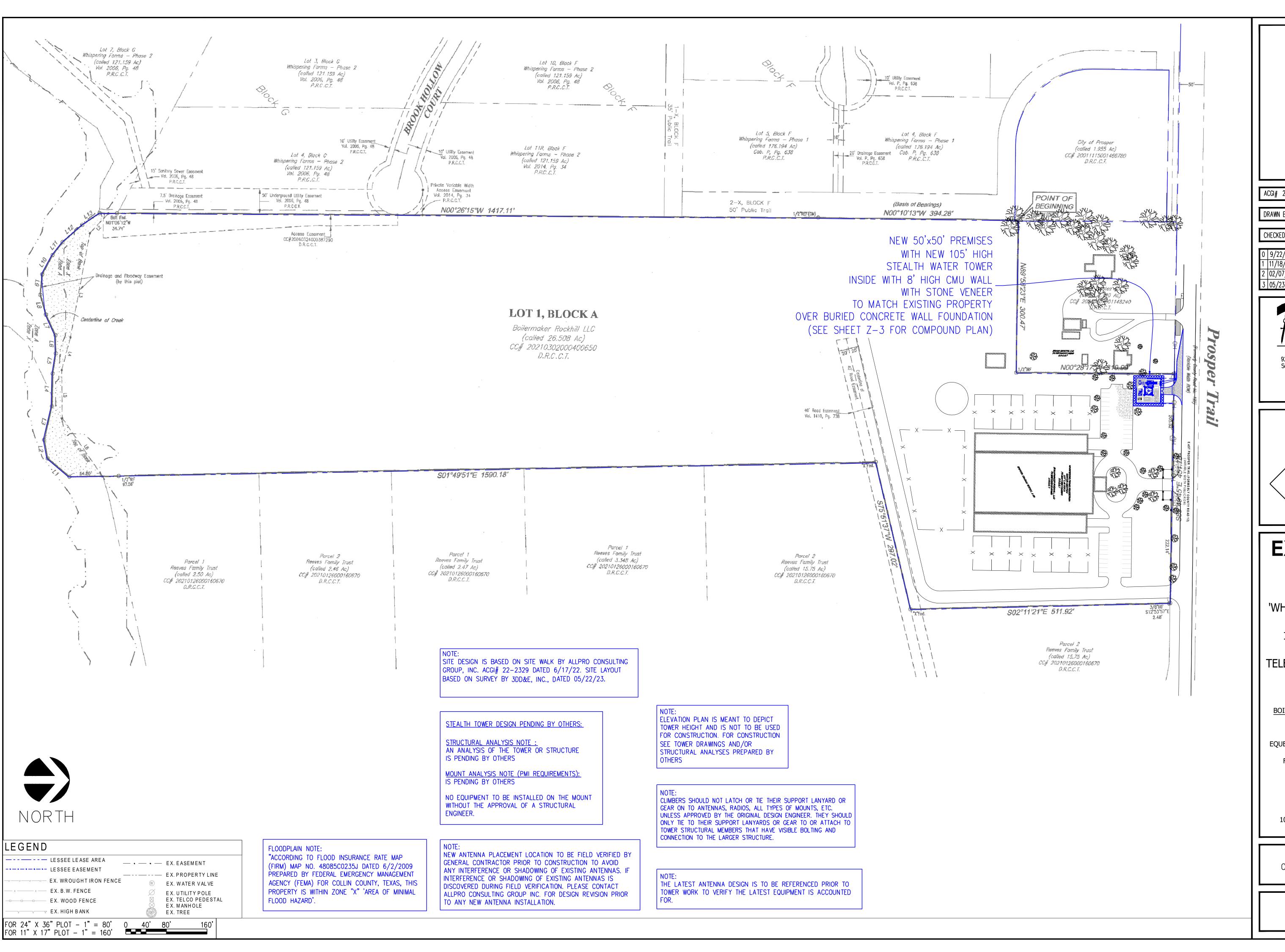
CHECKED BY: HL

DATE: 5/22/2023

SHEET 2 OF 2

SURVEY NOT VALID 87 WITHOUT ALL SHEETS

CASE NUMBER ZONE-22-0001



EMN

ACGI# 23-1237

DRAWN BY: CG

CHECKED BY: SZ

0 | 9/22/22 | ISSUE FOR ZONING REVIEW 11/18/22 REVISED PER CITY COMMENTS 2 | 02/07/23 | REVISED PER CITY COMMENTS 3 | 05/23/23 | REVISED PER CITY COMMENTS



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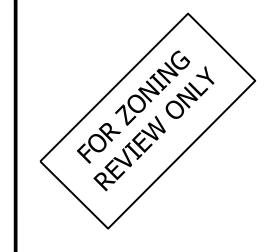


EXHIBIT B

ZONE-22-0001

'WHISPERING FARMS'

105'-0" TOWER **NEW STEALTH TELECOMMUNICATION** STRUCTURE

OWNER BOILERMAKER ROCKHILL, LLC

LEGAL DESCRIPTION

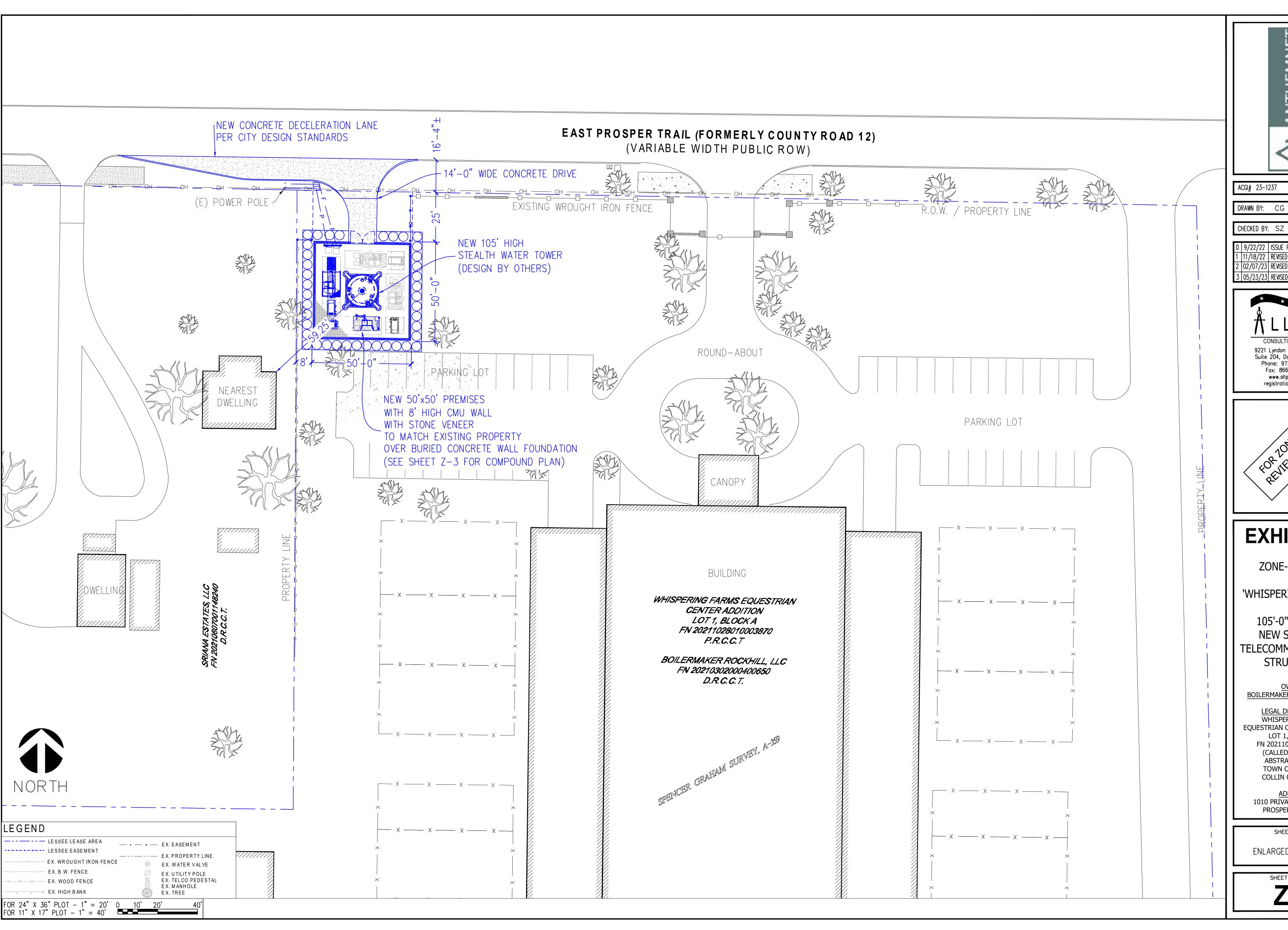
WHISPERING FARMS **EQUESTRIAN CENTER ADDITION** LOT 1, BLOCK A FN 20211028010003870 (CALLED 26.508 AC) ABSTRACT No. 359 TOWN OF PROSPER COLLIN COUNTY, TX

> 1010 PRIVATE ROAD 5569 PROSPER, TX 75078

> > SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER





0 9/22/22 ISSUE FOR ZONING REVIEW 1 11/18/22 REVISED PER CITY COMMENTS 2 02/07/23 REVISED PER CITY COMMENTS 3 05/23/23 REVISED PER CITY COMMENTS



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EXHIBIT B

ZONE-22-0001

'WHISPERING FARMS'

105'-0" TOWER **NEW STEALTH** TELECOMMUNICATION STRUCTURE

BOILERMAKER ROCKHILL, LLC

LEGAL DESCRIPTION

WHISPERING FARMS **EQUESTRIAN CENTER ADDITION** LOT 1, BLOCK A FN 20211028010003870 (CALLED 26.508 AC) ABSTRACT No. 359 TOWN OF PROSPER COLLIN COUNTY, TX

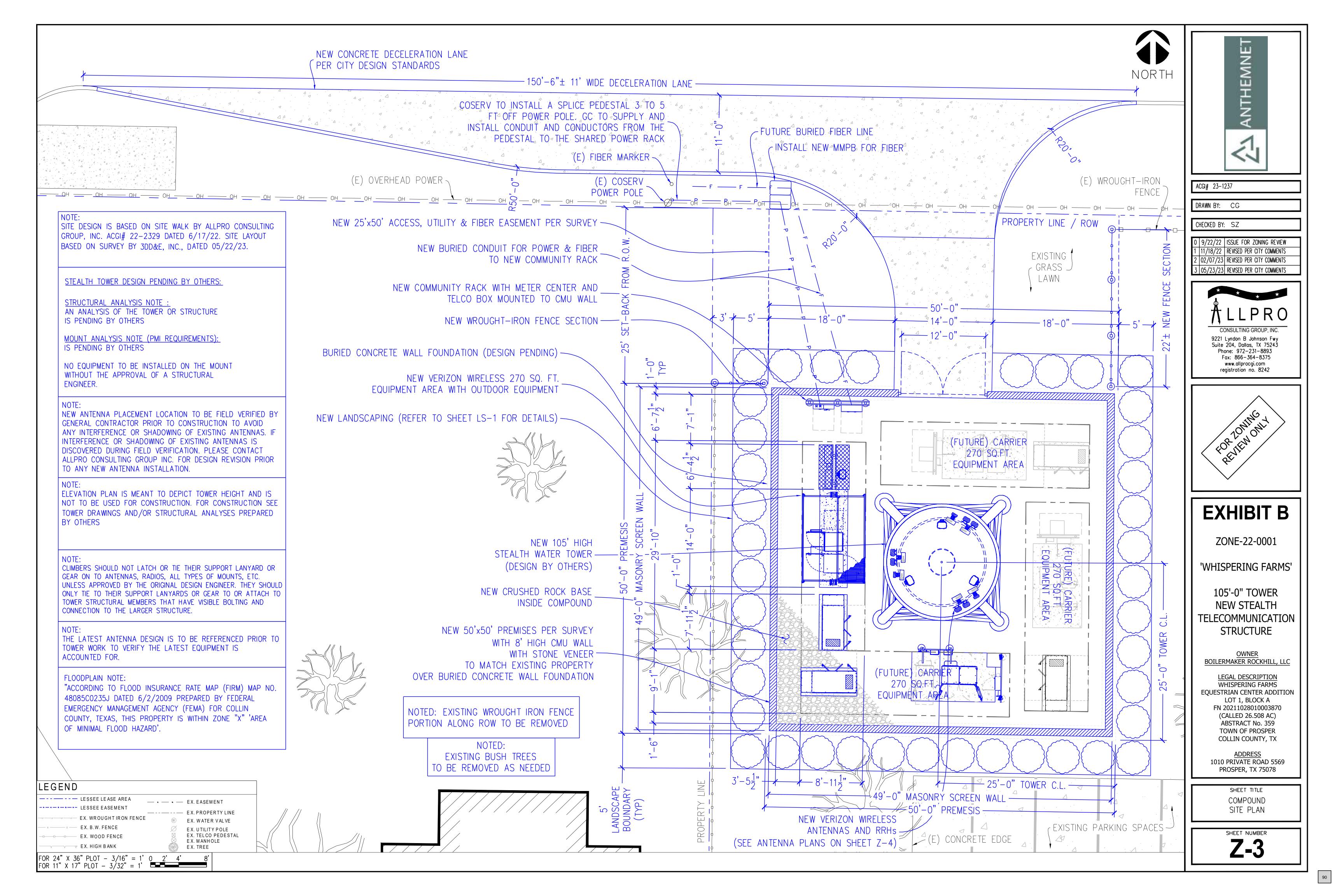
1010 PRIVATE ROAD 5569 PROSPER, TX 75078

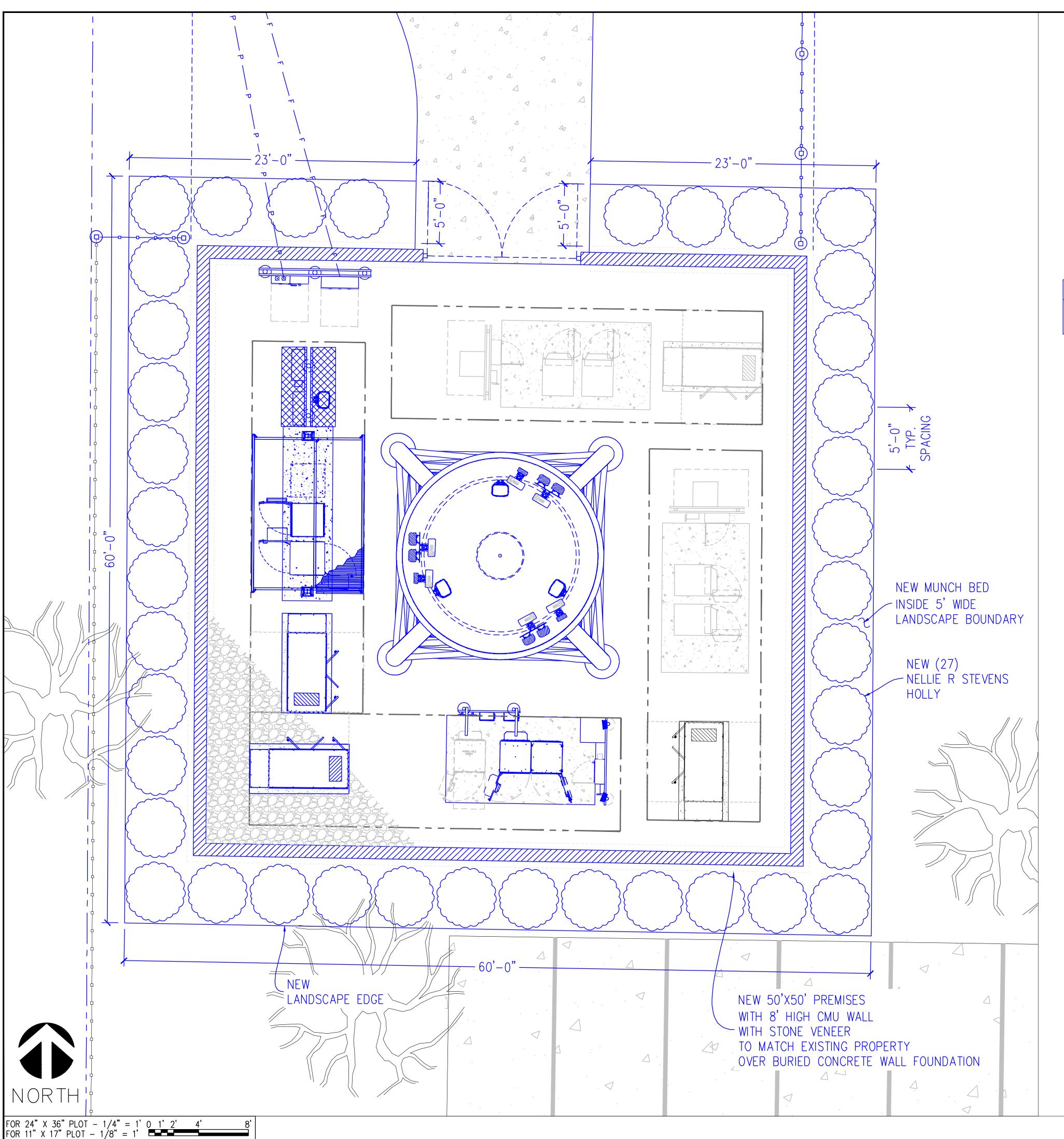
SHEET TITLE

ENLARGED SITE PLAN

SHEET NUMBER

Z-2





NOTES:

1. ALL DISTURBED SOIL OUTSIDE OF PROPERTY LINES WILL BE GRADED, TURF ESTABLISHED (HYDROSEED OR SOD), AND TEMPORARY OR PERMANENT IRRIGATION.

2. INSTALL 5' WIDTH LANDSCAPE BED, LINED WITH STEEL EDGING OR OTHER APPROVED LINE OF DEMARCATION.

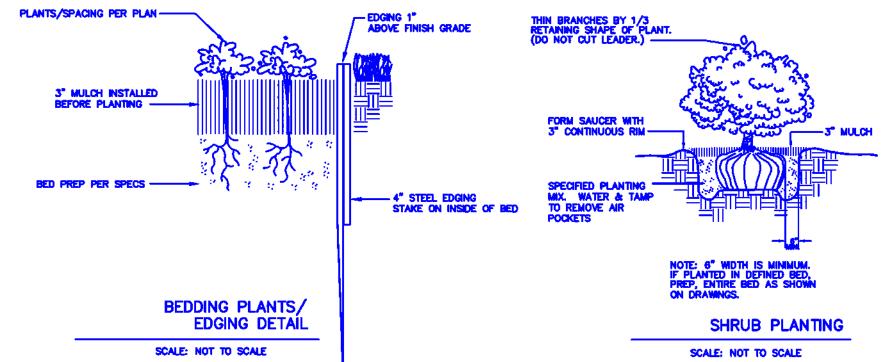
3. INSTALL LARGE EVERGREEN UPRIGHT SHRUBS (FULL TO GROUND) W/ GROWTH POTENTIAL TO EXCEED 5' OUTSIDE OF THE PERIMETER MASONRY WALL.

- MINIMUM 4' HEIGHT AT PLANTING
- 5'-0" O.C. SPACING
- MINIMUM 3" MULCH

4. WATER DAILY FOR THE FIRST WEEK AFTER PLANTING, THEN TWICE A WEEK AFTERWARD UNTIL THEY ARE ESTABLISHED.

PLANT LIST

QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
40	Nellie R Stevens Holly	llex x 'Nellie R.	WELL BRANCHED, MIN. HEIGHT OF 4'-0" AT TIME OF PLANTING.



GENERAL PLANTING NOTES

- 1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE.
- 2. ALL PLANTS MUST BE CONTAINER-GROWN OR BALLED AND BURLAPED AS SPECIFIED.
- 3. ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- 5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN.
- 6. ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- 7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE PLANS BEFORE PRICING THE WORK.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTINGAREA AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE REPRESENTATIVE.
- 10. THE OWNER AGREES TO PERFORM ALL LANDSCAPE MAINTENANCE (INCLUDING WATERING) THROUGHOUT THE ONE YEAR GUARANTEE PERIOD UNLESS OTHERWISE DETERMINED.
- 11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF TOTAL ACCEPTANCE, THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- 12. THE CONTRACTOR REPRESENTATIVE WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- 13. ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED BY CONTRACTOR WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
- 14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", LATEST EDITION, REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 15. ALL TREES PROTECTION MEASURES SHALL BE INSTALLED PRIOR GRADING.



ACGI# 23-1237

DRAWN BY: CG

CHECKED BY: SZ

0 9/22/22 ISSUE FOR ZONING REVIEW
1 11/18/22 REVISED PER CITY COMMENTS
2 02/07/23 REVISED PER CITY COMMENTS
3 05/23/23 REVISED PER CITY COMMENTS



registration no. 8242

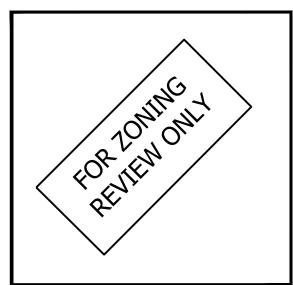


EXHIBIT C

ZONE-22-0001

'WHISPERING FARMS'

105'-0" TOWER
NEW STEALTH
TELECOMMUNICATION
STRUCTURE

OWNER BOILERMAKER ROCKHILL, LLC

BOILERMAKER ROCKHILL, LL

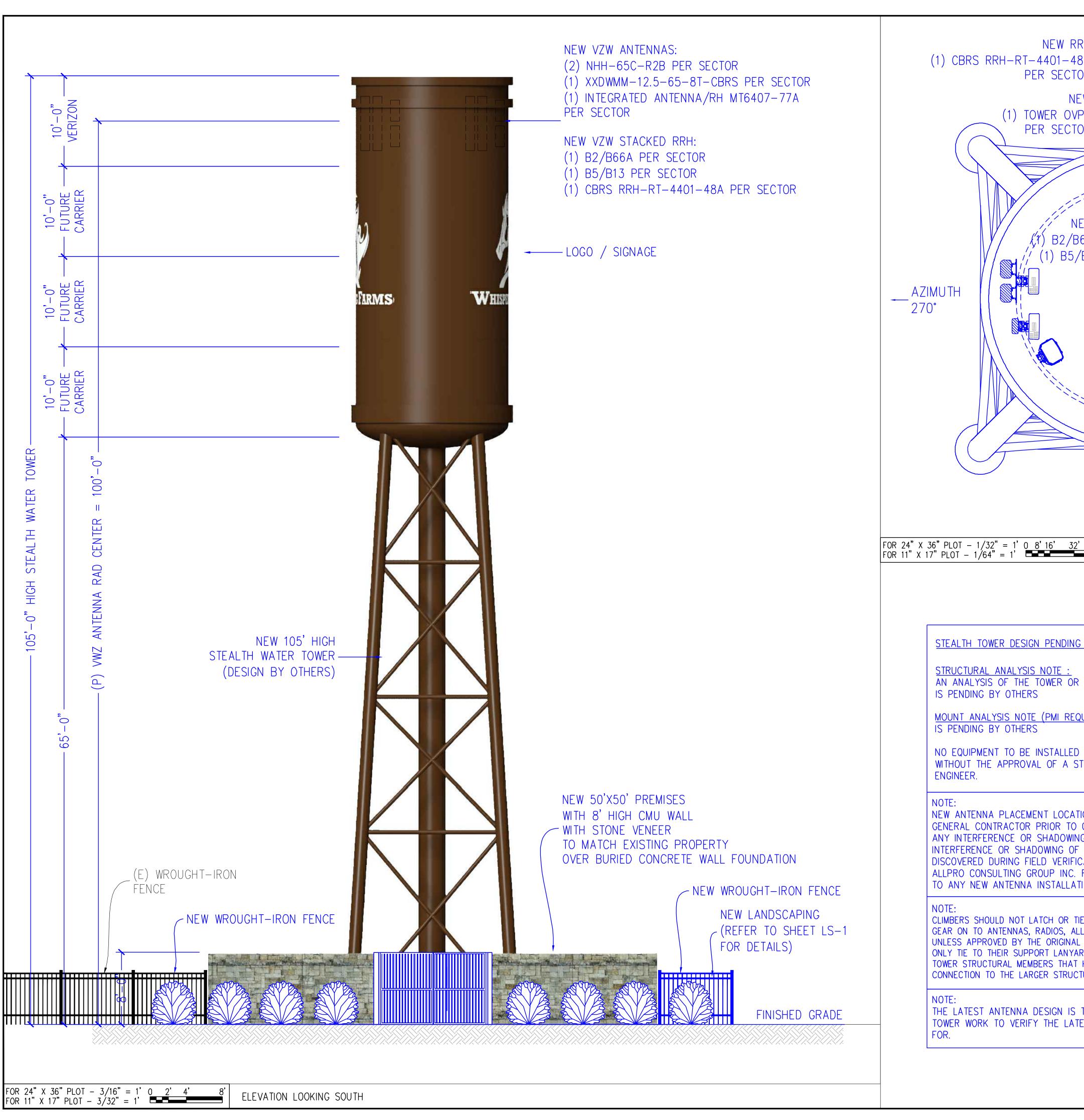
LEGAL DESCRIPTION
WHISPERING FARMS
EQUESTRIAN CENTER ADDITION
LOT 1, BLOCK A
FN 20211028010003870
(CALLED 26.508 AC)
ABSTRACT No. 359
TOWN OF PROSPER
COLLIN COUNTY, TX

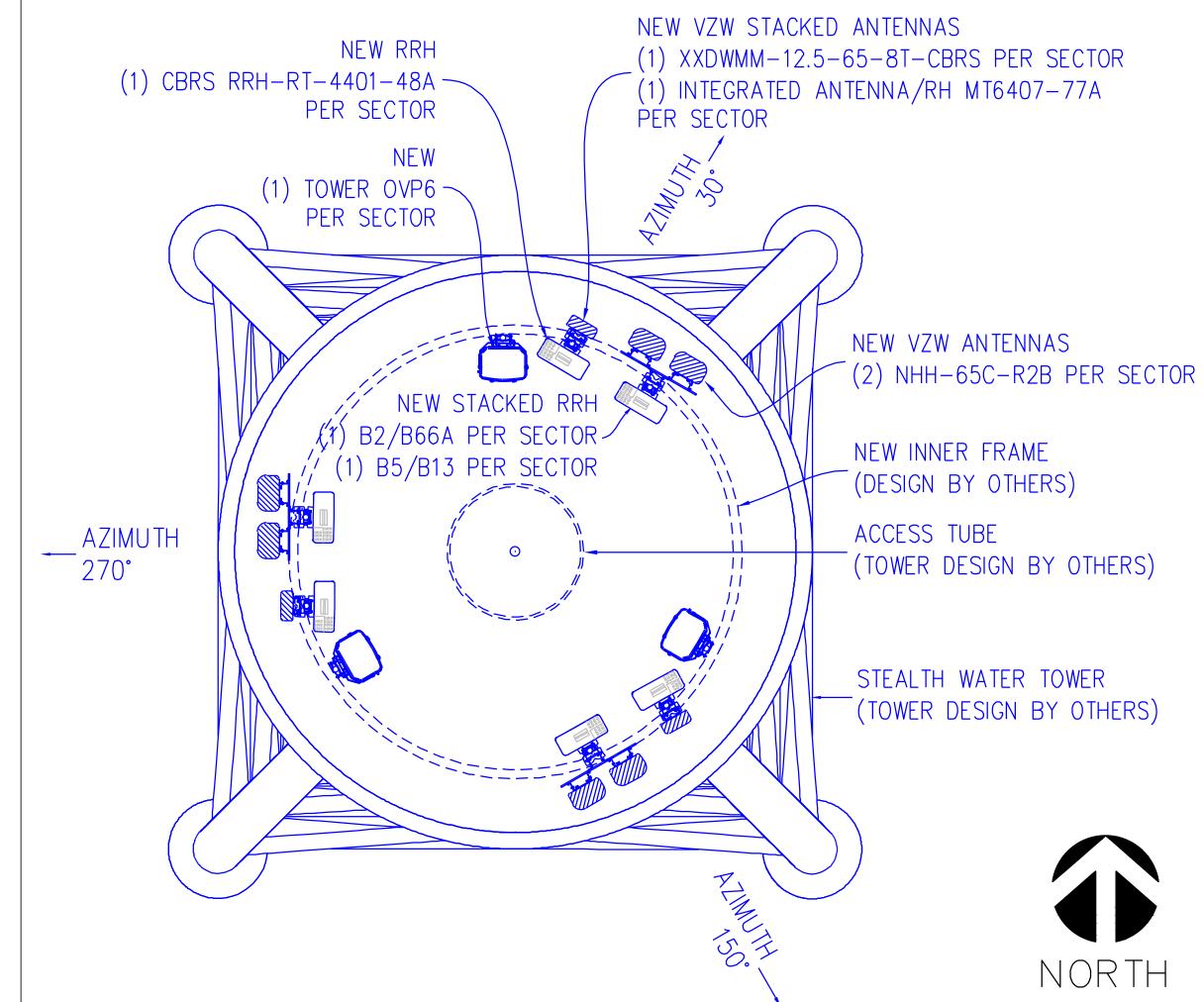
ADDRESS 1010 PRIVATE ROAD 5569 PROSPER, TX 75078

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER





VERIZON — ANTENNA PLAN

STEALTH TOWER DESIGN PENDING BY OTHERS:

STRUCTURAL ANALYSIS NOTE: AN ANALYSIS OF THE TOWER OR STRUCTURE IS PENDING BY OTHERS

MOUNT ANALYSIS NOTE (PMI REQUIREMENTS): IS PENDING BY OTHERS

NO EQUIPMENT TO BE INSTALLED ON THE MOUNT WITHOUT THE APPROVAL OF A STRUCTURAL ENGINEER.

NEW ANTENNA PLACEMENT LOCATION TO BE FIELD VERIFIED BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION TO AVOID ANY INTERFERENCE OR SHADOWING OF EXISTING ANTENNAS. IF INTERFERENCE OR SHADOWING OF EXISTING ANTENNAS IS DISCOVERED DURING FIELD VERIFICATION. PLEASE CONTACT ALLPRO CONSULTING GROUP INC. FOR DESIGN REVISION PRIOR TO ANY NEW ANTENNA INSTALLATION.

CLIMBERS SHOULD NOT LATCH OR TIE THEIR SUPPORT LANYARD OR GEAR ON TO ANTENNAS, RADIOS, ALL TYPES OF MOUNTS, ETC. UNLESS APPROVED BY THE ORIGINAL DESIGN ENGINEER. THEY SHOULD ONLY TIE TO THEIR SUPPORT LANYARDS OR GEAR TO OR ATTACH TO TOWER STRUCTURAL MEMBERS THAT HAVE VISIBLE BOLTING AND CONNECTION TO THE LARGER STRUCTURE.

NOTE:

THE LATEST ANTENNA DESIGN IS TO BE REFERENCED PRIOR TO TOWER WORK TO VERIFY THE LATEST EQUIPMENT IS ACCOUNTED FOR.



ACGI# 23-1237

DRAWN BY: CG

CHECKED BY: SZ

0 9/22/22 ISSUE FOR ZONING REVIEW 1 11/18/22 REVISED PER CITY COMMENTS 2 02/07/23 REVISED PER CITY COMMENTS 3 05/23/23 REVISED PER CITY COMMENTS



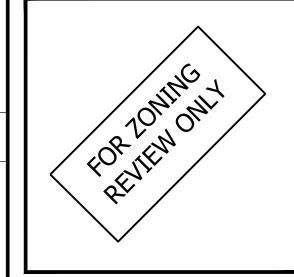


EXHIBIT D

ZONE-22-0001

'WHISPERING FARMS'

105'-0" TOWER **NEW STEALTH TELECOMMUNICATION** STRUCTURE

BOILERMAKER ROCKHILL, LLC

LEGAL DESCRIPTION WHISPERING FARMS

EQUESTRIAN CENTER ADDITION LOT 1, BLOCK A FN 20211028010003870 (CALLED 26.508 AC) ABSTRACT No. 359 TOWN OF PROSPER COLLIN COUNTY, TX

1010 PRIVATE ROAD 5569 PROSPER, TX 75078

SHEET TITLE ELEVATION & ANTENNA PLAN

SHEET NUMBER



NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS COLOR: BROWN

MATERIAL: STEEL LATTICE STRUCTURE

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 61'-0" TO 101'-0" AGL COLOR: BROWN

MATERIAL: (FRP) FIBER REINFORCED PRODUCT RADIO FREQUENCY COMPLIANT MATERIAL

NEW 100% MASONRY SCREENING WALL

FOR 24" X 36" PLOT - 1/16" = 1' 0 4' 8' 16' FOR 11" X 17" PLOT - 3/64" = 1'

COLOR: LIGHT GRAY

SURFACE AREA OF NEW STRUCTURES:

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 0'-0" TO 61'-0" AGL SURFACE AREA: APPROX. 767.75 SQUARE FT

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 61'-0" TO 101'-0" AGL SURFACE AREA: APPROX. 694.25 SQUARE FT

INEW 100% MASONRY SCREENING WALL

THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING. ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION. WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.

EMN

ACGI# 23-1237

DRAWN BY: CG

CHECKED BY: SZ

0 9/22/22 ISSUE FOR ZONING REVIEW 1 | 11/18/22 | REVISED PER CITY COMMENTS 2 02/07/23 REVISED PER CITY COMMENTS 3 05/23/23 REVISED PER CITY COMMENTS



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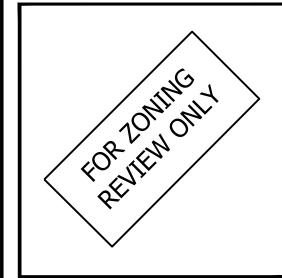


EXHIBIT D

ZONE-22-0001

'WHISPERING FARMS'

105'-0" TOWER **NEW STEALTH TELECOMMUNICATION** STRUCTURE

BOILERMAKER ROCKHILL, LLC

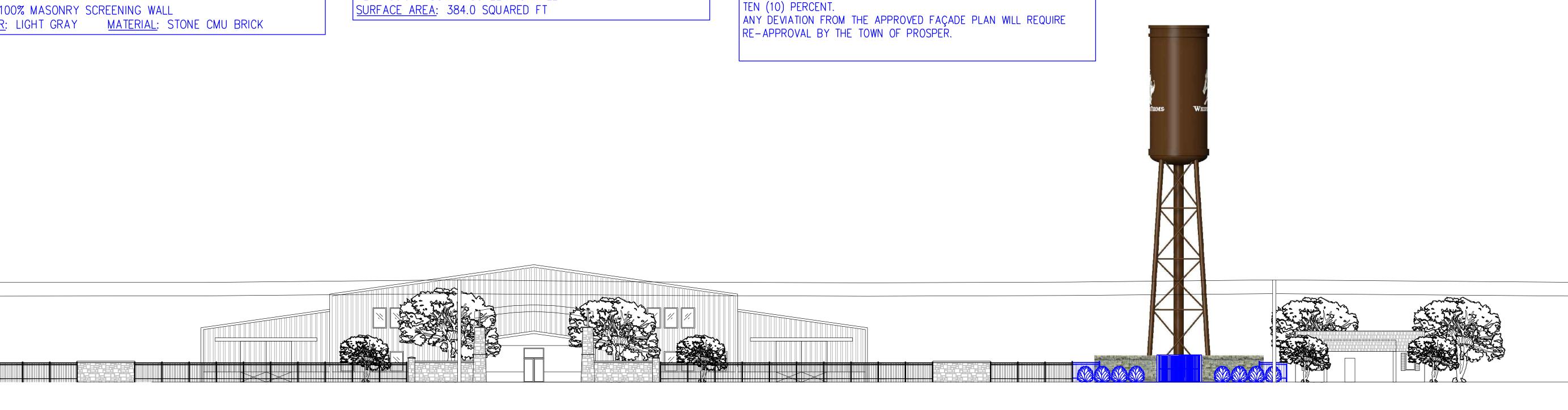
LEGAL DESCRIPTION

WHISPERING FARMS **EQUESTRIAN CENTER ADDITION** LOT 1, BLOCK A FN 20211028010003870 (CALLED 26.508 AC) ABSTRACT No. 359 TOWN OF PROSPER COLLIN COUNTY, TX

> 1010 PRIVATE ROAD 5569 PROSPER, TX 75078

SHEET TITLE FACADE ELEVATIONS NORTH & SOUTH

SHEET NUMBER



MATERIALS / COLORS OF NEW STRUCTURES:

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS **COLOR:** BROWN

MATERIAL: STEEL LATTICE STRUCTURE

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 61'-0" TO 101'-0" AGL COLOR: BROWN

MATERIAL: (FRP) FIBER REINFORCED PRODUCT RADIO FREQUENCY COMPLIANT MATERIAL

NEW 100% MASONRY SCREENING WALL COLOR: LIGHT GRAY MATERIAL: STONE CMU BRICK SURFACE AREA OF NEW STRUCTURES:

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 0'-0" TO 61'-0" AGL SURFACE AREA: APPROX. 767.75 SQUARE FT

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 61'-0" TO 101'-0" AGL SURFACE AREA: APPROX. 694.25 SQUARE FT

NEW 100% MASONRY SCREENING WALL SURFACE AREA: 400.0 SQUARED FT

THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.

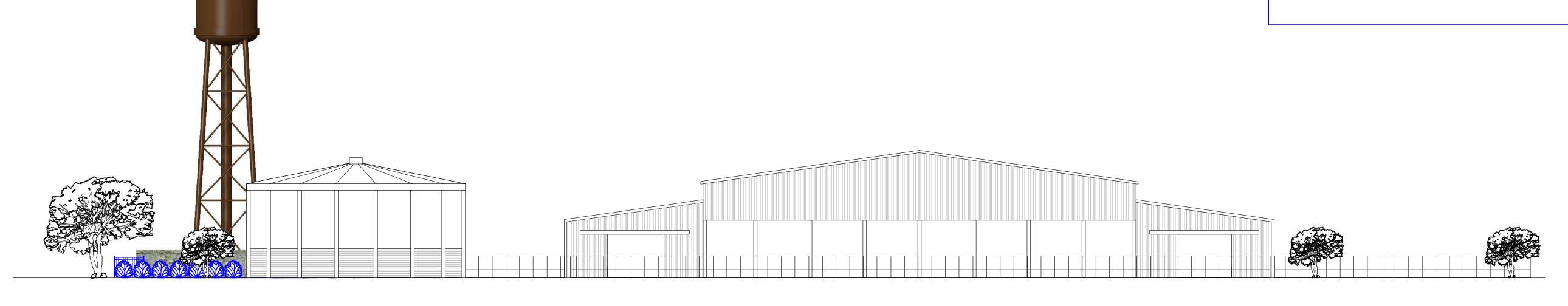
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE

SPECIFICATIONS OF THE ZONING ORDINANCE. WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.

ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.

WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.

ANY DEVIATION FROM THE APPROVED FAÇADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.



NORTH FACADE ELEVATION

MATERIALS / COLORS OF NEW STRUCTURES:

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS COLOR: BROWN

MATERIAL: STEEL LATTICE STRUCTURE

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 61'-0" TO 101'-0" AGL COLOR: BROWN

MATERIAL: (FRP) FIBER REINFORCED PRODUCT RADIO FREQUENCY COMPLIANT MATERIAL

NEW 100% MASONRY SCREENING WALL

FOR 24" X 36" PLOT - 1/16" = 1' 0 4' 8' 16' FOR 11" X 17" PLOT - 3/64" = 1'

COLOR: LIGHT GRAY MATERIAL: STONE CMU BRICK SURFACE AREA OF NEW STRUCTURES:

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 0'-0" TO 61'-0" AGL SURFACE AREA: APPROX. 767.75 SQUARE FT

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 61'-0" TO 101'-0" AGL SURFACE AREA: APPROX. 694.25 SQUARE FT

NEW 100% MASONRY SCREENING WALL SURFACE AREA: 384.0 SQUARED FT

THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.

WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.

ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION

WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.

ANY DEVIATION FROM THE APPROVED FAÇADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.



ACGI# 23-1237

DRAWN BY: CG

CHECKED BY: SZ

0 | 9/22/22 | ISSUE FOR ZONING REVIEW

11/18/22 REVISED PER CITY COMMENTS 2 02/07/23 REVISED PER CITY COMMENTS 3 05/23/23 REVISED PER CITY COMMENTS



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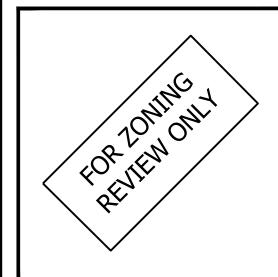


EXHIBIT D

ZONE-22-0001

'WHISPERING FARMS'

105'-0" TOWER **NEW STEALTH TELECOMMUNICATION** STRUCTURE

BOILERMAKER ROCKHILL, LLC

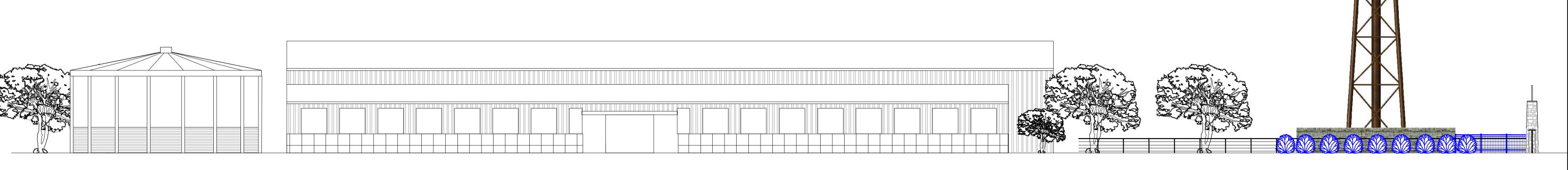
LEGAL DESCRIPTION WHISPERING FARMS **EQUESTRIAN CENTER ADDITION** LOT 1, BLOCK A FN 20211028010003870 (CALLED 26.508 AC)

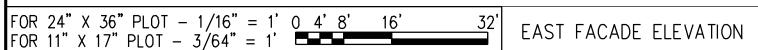
ABSTRACT No. 359 TOWN OF PROSPER COLLIN COUNTY, TX

1010 PRIVATE ROAD 5569 PROSPER, TX 75078

SHEET TITLE FACADE ELEVATIONS EAST & WEST

SHEET NUMBER





MATERIALS / COLORS OF NEW STRUCTURES:

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS COLOR: BROWN

MATERIAL: STEEL LATTICE STRUCTURE

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 61'-0" TO 101'-0" AGL COLOR: BROWN

MATERIAL: (FRP) FIBER REINFORCED PRODUCT RADIO FREQUENCY COMPLIANT MATERIAL

NEW 100% MASONRY SCREENING WALL COLOR: LIGHT GRAY MATERIAL: STONE CMU BRICK

SURFACE AREA OF NEW STRUCTURES:

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 0'-0" TO 61'-0" AGL SURFACE AREA: APPROX. 767.75 SQUARE FT

NEW 105'-0" STEALTH WATER TOWER WIRELESS COMMUNICATIONS SUPPORT STRUCTURE BETWEEN 61'-0" TO 101'-0" AGL SURFACE AREA: APPROX. 694.25 SQUARE FT

NEW 100% MASONRY SCREENING WALL SURFACE AREA: 400.0 SQUARED FT

THIS FAÇADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.

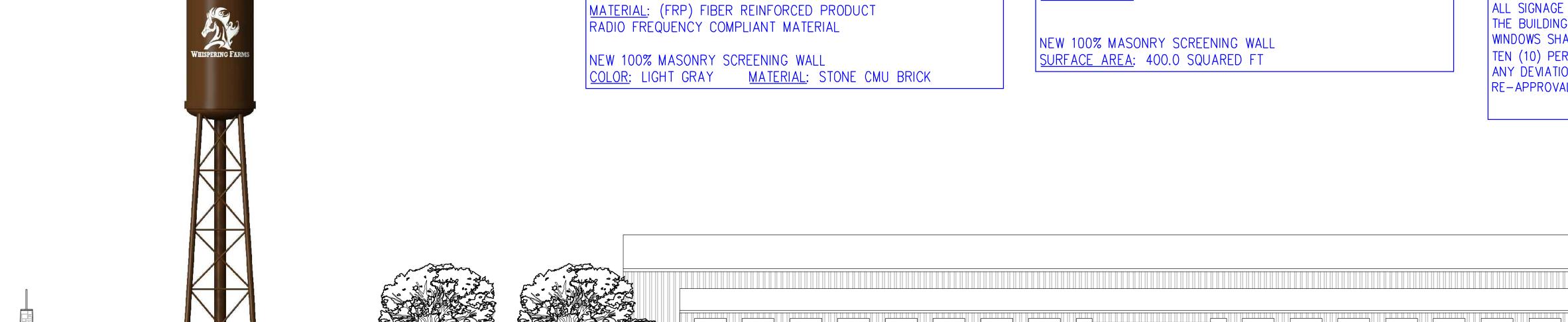
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.

WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.

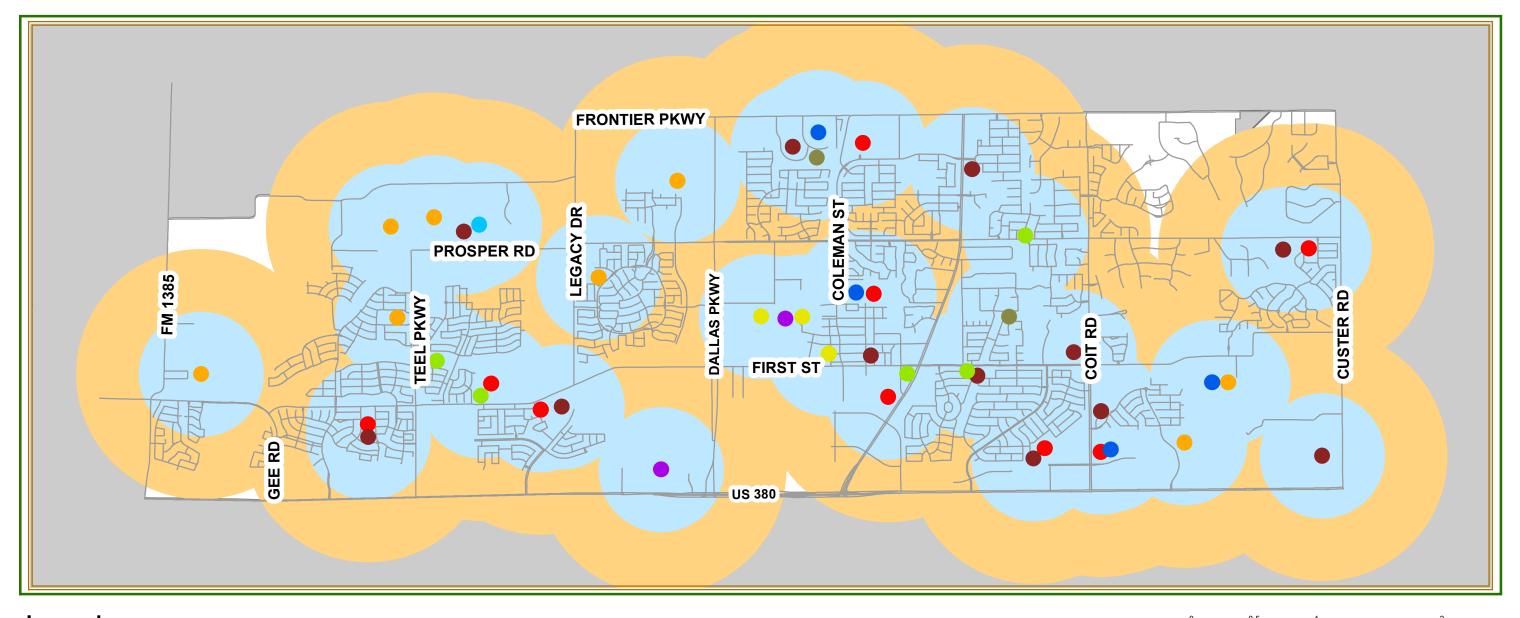
ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.

WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT. ANY DEVIATION FROM THE APPROVED FAÇADE PLAN WILL REQUIRE

RE-APPROVAL BY THE TOWN OF PROSPER.



Wireless Communication Exhibit





This map is produced for informational purposes only and is intended to only depict public properties that could be considered for wireless communication sites.



A Place Where Everyone Matters

PLANNING

To: Planning & Zoning Commission Item No. 6

From: Doug Braches, Planner

Through: David Soto, Planning Manager

Re: Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Conduct a Public Hearing and consider and act upon a request to rezone 0.3± acres from Single Family-15 (SF-15) to Downtown Retail (DTR), on Lots 3-5. (ZONE-23-0001)

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

	Zoning	Current Land Use	Future Land Use Plan	
Subject Property	Single Family-15	Residential	Downtown Retail	
North	Single Family-15	Residential	Downtown Retail	
East	Downtown Retail	Office/Service	Downtown Retail	
South	Downtown Retail	Retail	Downtown Retail	
West	Single Family-15	Residential	Downtown Retail	

Requested Zoning – The purpose of this request is to rezone the property to the Downtown Retail District to allow for development of a commercial retail building in the future. The existing house is planned to be removed to allow construction of a new building. At the time of an application for "straight" zoning, the applicant is not required to submit an exhibit depicting how the property will be specifically developed or elevations of the proposed building. Prior to development, the developer will be required to submit a Site Plan for review and approval by the Planning & Zoning Commission. The applicant has been advised of the standards necessary for development.

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<u>Future Land Use Plan</u> – The Future Land Use Plan recommends Downtown Retail. The proposed zoning request conforms to the Future Land Use Plan.

<u>Thoroughfare Plan</u> – This property currently has direct access to Main Street.

<u>Parks Master Plan</u> – The Parks Master Plan does not indicate a park is needed on the subject property.

Legal Obligations and Review:

Notification was provided as required by the Zoning Ordinance and state law. To date, staff has received one reply form.

Attached Documents:

- 1. Aerial and Zoning Maps
- 2. Exhibit A
- 3. Reply Form

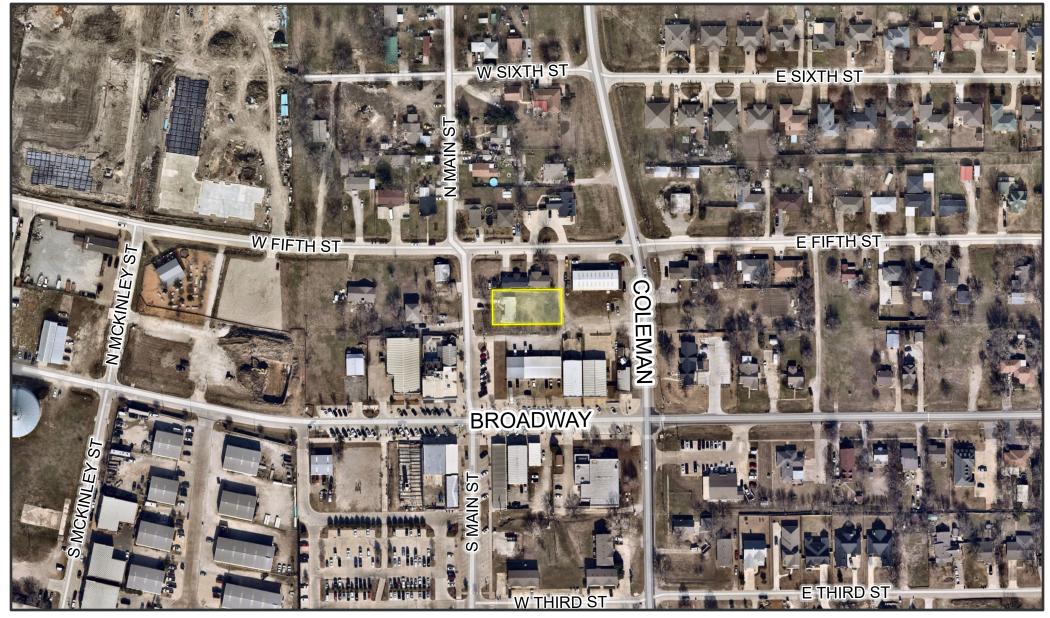
Town Staff Recommendation:

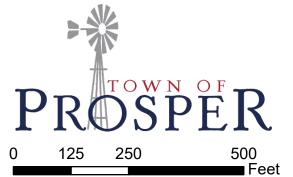
Town Staff has observed the site and its surrounding environment. Currently, there are non-residential uses to the east along Coleman Street and to the south along Main Street. Staff understands that there are numerous non-residential uses within the surrounding area. Furthermore, it is recommended, per the Comprehensive Plan, for Downtown Retail uses. The zoning request would be consistent with the uses in the surrounding area. As a result, staff recommends approval of this zoning request.

Town Council Public Hearing:

Upon a recommendation by the Planning & Zoning Commission, a Public Hearing for this item will be scheduled for the Town Council at their Regular meeting on June 27, 2023.

Page 2 of 2 97



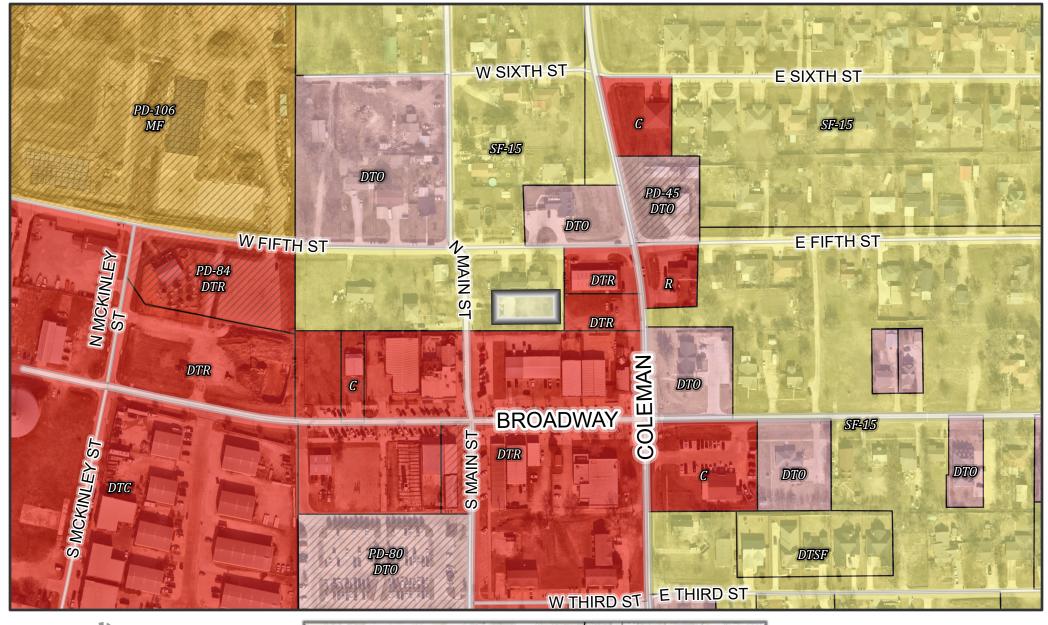


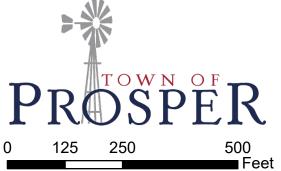


ZONE-23-0001

Rezoning for 106 North Main Street, from Single F

Straight Zoning



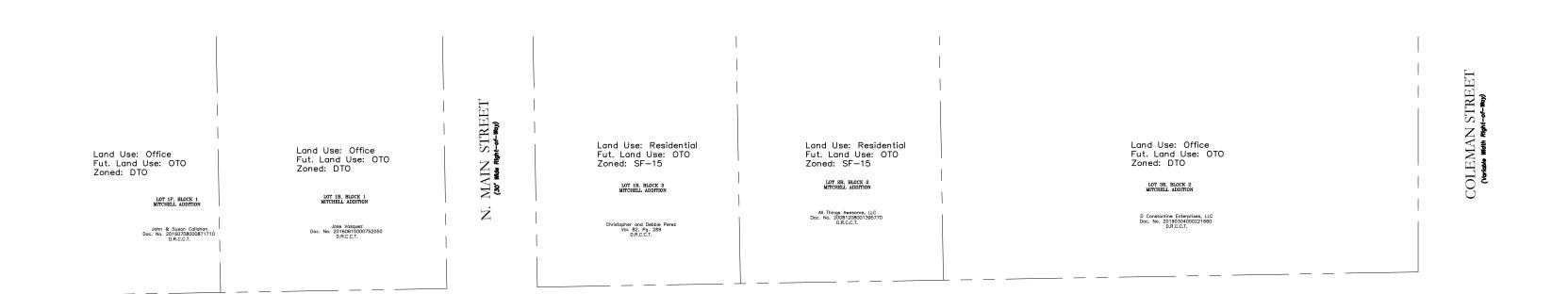


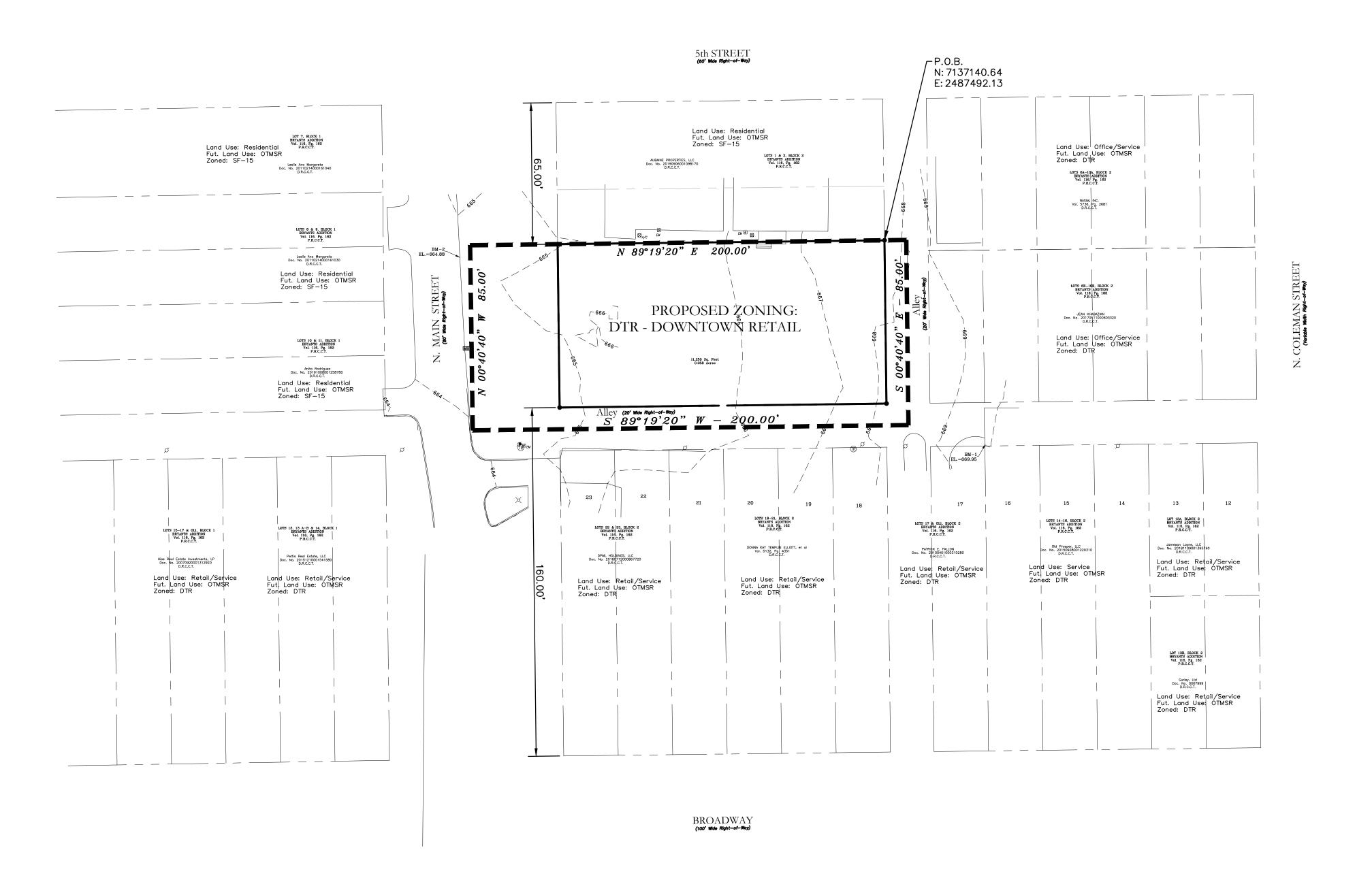


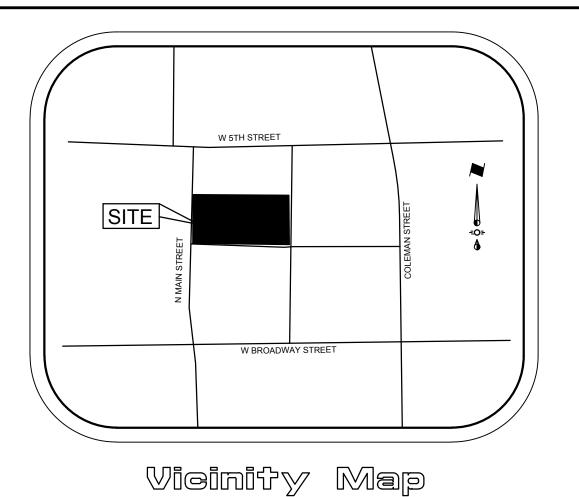
ZONE-23-0001

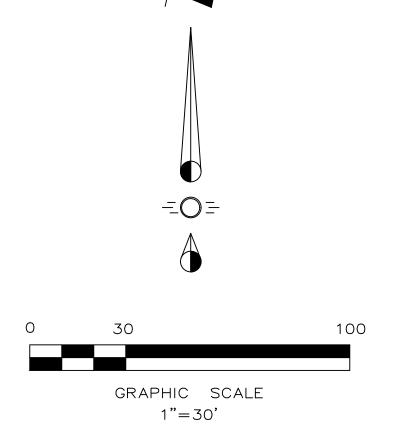
Rezoning for 106 North Main Street, from Single F

Straight Zoning









<u>LEGEND</u>

Limits of Zoning

P.O.B. Point of Beginning

<u>SYNOPSIS</u>

Address: Current Zoning: Proposed Zoning: 106 N MAIN STREET SF—15 DTR (Downtown Retail)

AREA INFORMATION

Block A, Lots 3—5 0.258 Net Acres located in the Town of Prosper, Collin County, Texas.

LEGAL DESCRIPTION

Bryant's Addition Town of Prosper Collin County, Texas

SITUATED in the Town of Prosper, in the Collin County School Land Survey, Abstract No. 147 of Collin County, Texas and being all of Lots 3, 4 and 5, Block 2 of Bryant's Addition, an addition to the Town of Prosper, recorded in Volume 116, Pages 162-163, Plat Records, Collin County, Texas (P.R.C.C.T.) and further described in a Warranty Deed with Vendor's Lien to John C. Kim and Sook Y. Kim, dated April 30, 2021 and recorded in Document No. 20210504000898370, Deed Records, Collin County, Texas (D.R.C.C.T.) and also including portions of the adjoining public rights-of-way and being more particularly described by metes & bounds as follows:

BEGINNING at a 5/8 inch iron rod, topped with a yellow plastic cap, stamped "TERRACORP", found on the west line of a 20' wide public alley for the northeast corner of the above described Lot 3, Block 2 and said point also being the southeast corner of Lot 2, Block 2 of said Bryant's Addition:

THENCE: North 89 deg. 19 min. 20 sec. East, across said 20' wide public alley, a distance of 10.00 feet to a point in the center of said alley for the northeast corner of this hereinafter described tract of land;

THENCE: South 00 deg. 40 min. 40 sec. East, along the center of said alley, a distance of 85.00 feet to a point at the centerline intersection of said alley and an east-west 20' wide public alley for the southeast corner of this tract of land and said point bears South 45 deg. 40 min. 40 sec. East - 14.14 feet from a 5/8 inch iron rod, topped with a yellow plastic cap, stamped "TERRACORP", found at the southeast corner of the above described Lot 5, Block 2;

THENCE: South 89 deg. 19 min. 20 sec. West, along the centerline of said east-west 20' wide public alley, a distance of 200.00 feet to a point at the centerline intersection of said alley and N. Main Street (80' wide public right-of-way) for the southwest corner of this tract of land;

THENCE: North 00 deg. 40 min. 40 sec. West, along the centerline of said N. Main Street, a distance of 85.00 feet to a point for the northwest corner of this tract of land;

THENCE: North 89 deg. 19 min. 20 sec. East, across said N. Main Street, at a distance of 40.00 feet, passing a 1/2 inch iron rod, topped with a yellow plastic cap stamped "BURNS SURVEYING", found for the northwest corner of said Lot 3 and the southwest corner of Lot 2, Block 2 on the east right-of-way line of said N. Main Street and continuing along the common line of said Lots 2 and 3, Block 2 for a total distance of 190.00 feet to the **POINT OF BEGINNING** and containing 17,000 square feet or 0.390 acres of land.

Note:

The Bearings shown hereon are geodetic and are based upon GPS observations from Town of Prosper GPS Control Monument No. 4, Texas State Plane Coordinate System, Texas North Central Zone, NAD-83.

OWNER:

Haegyo, LLC 1721 Wynne Avenue Prosper, Texas 75078 Phone (213) 925—5058 Contact: John Kim

APPLICANT/ENGINEER:

Cross Engineering Consultants, Inc. 1720 W. Virginia St. McKinney, Texas 75069 Phone (972) 562—4409 Fax (972) 562—4471 Contact: Dwayne Zinn, P.M.

SURVEYOR:
Ringley & Associates
701 S. Tennessee St.
McKinney, TX. 75069
Phone (972) 542—1266
Fax (972) 542—8682
Contact: Lawrence Ringley

FLOOD ZONE NOTE:

This Surveyor has reviewed Flood Insurance Rate Map No. 48085C0235J (effective date June 2, 2009) published by the Federal Emergency Management Administration for Denton County, Texas and based upon said scaled map and graphic plotting, such review revealed that the subject parcel lies within "ZONE X" (Un-Shaded) and is outside of the 100 Year Flood Plain and is determined to be outside the 0.2% annual chance floodplain. No 100-year Flood Plain exists on the property.

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

ZONE-23-0001

Issue Dates:	Revision & Date:				
1	1			NEERING	
2	2		CONS	SULTANTS	
3	3	1720 W. Virginia St		Kinney, Texas 75069	
4	4	972.562.4409 Texas P.E. Firm No. F-59		as P.E. Firm No. F-5935	
5	5	Drawn By:	Checked By:	Scale:	
6	6	C.E.C.I.	C.E.C.I.	1"=30'	

EXHIBIT A	Sheet No.
PURE POKE, LOTS 3-5, BLOCK 2, 0.258 ACRES COLLIN COUNTY SCHOOL LAND SURVEY BRYANTS ADDITION, ABSTRACT NO. 147	EX-A

Pureteam 2, LLC

TOWN OF PROSPER, TEXAS

Project No. 21034



250 W. First Street Prosper, TX 75078 Phone: 972-346-3502

NOTICE OF PUBLIC HEARING - PLANNING & ZONING COMMISSION

SUBJECT:

Zoning Case ZONE-23-0001: The Town of Prosper has received a request to rezone for 106 N. Main Street, from Single Family-15 (SF-15) to Downtown Retail (DTR), on Lots 3-5, Block 2, on .3± acres.

LOCATION OF SUBJECT PROPERTY:

The property is located south of Fifth Street and east of Main Street.

LOCATION OF PUBLIC HEARING:

The Planning & Zoning Commission will be convened, and individuals will be able to address the Commission (1) via telephone conference call, or (2) via videoconference. Information regarding telephone conference call and videoconference will be provided on the Planning & Zoning Commission Agenda, which will be posted on the Town website (www.prospertx.gov) and at Town Hall a minimum of 72 hours prior to the Public Hearing.

DATE & TIME:

Tuesday, June 6, 2023-6:00 p.m.

If the Planning & Zoning Commission makes a recommendation to Town Council regarding the rezoning request, in accordance with the Town's Development Schedule, a Public Hearing for this item would be scheduled for Town Council at their Regular Meeting on Tuesday, June 27, 2023.

QUESTIONS:

If you have any questions regarding this notice, please contact Doug Braches, Planning Technician, at the Town of Prosper Development Services office, 250 W. First Street, by phone at (972) 569-1097, or by email at dbraches@prospertx.gov.



250 W. First Street Prosper, TX 75078 Phone: 972-346-3502

REPLY FORM

SUBJECT:

Zoning Case ZONE-23-0001: The Town of Prosper has received a request to rezone for 106 N. Main Street, from Single Family-15 (SF-15) to Downtown Retail (DTR), on Lots 3-5, Block 2, on .3± acres.

LOCATION OF SUBJECT PROPERTY:

The property is located south of Fifth Street and east of Main Street.

opposition.		Hearing. If in opposition, please provide a reason for of Public Hearing.
COMMEN	TS (ATTACH ADDITIONAL SHEETS IF NECES	SSARY):
Plea.	se provido the P&Z	egse number so / may
toact	it for site plan	1 would like to Know
the	reseil teNANT.	
Name (please pri	us CONSTANTINE	Signature Pous Tantine
9508 SA Address	NDIEWOOD Dr	5.31.23 Date
Denton, City, State, and Zi	Tx. 76207	denstal agmail com E-mail Address
942 - 20 - Phone Number	4-6448	

PLANNING



To: Planning & Zoning Commission Item No. 7

From: Doug Braches, Planner

Through: David Soto, Planning Manager

Re: Specific Use Permit – Wireless Communications and Support Structure

Planning & Zoning Commission Meeting – June 06, 2023

Agenda Item:

Conduct a Public Hearing and consider and act upon a request for a Specific Use Permit for a new Wireless Communications and Support Structure, on .1± acre, located on the south side of Frontier Parkway, west of Talon Lane. (ZONE-23-0008)

History:

Since the proposed use is on Town property, a lease agreement was signed between the applicant and the Town of Prosper in early 2023.

Description of Agenda Item:

The zoning and land use of the surrounding properties are as follows:

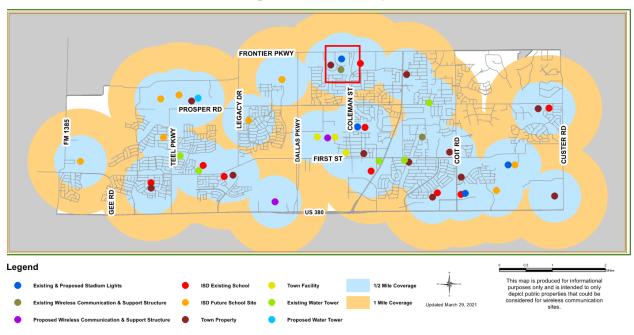
	Zoning	Current Land Use	Future Land Use Plan
Subject Property	Agricultural	Athletic Stadium	Low Density Residential
North	Agriculture	Park Land	N/A
East	Commercial	Non-Residential Developed	Medium Density Residential
South	Agriculture	Park Land	Medium Density Residential
West	Agriculture	Park Land	Medium Density Residential

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Requested Zoning – The purpose of this request is to allow construction of a new 100' Wireless Communication and Support Structure. The Specific Use Permit shows two (2) Wireless Communication antennas that would be placed on the structure and their associated 10' by 15' lease area.

In 2020, the Town completed a survey on areas of opportunities for wireless communication and support structures. The goal for this survey was to provide developers areas that were well suited for such use and to provide a comprehensive plan of communication towers for the Town of Prosper. These areas are potentially schools, sites, parks, or town properties. Regarding this specific request, this area is within one of those areas of opportunities.

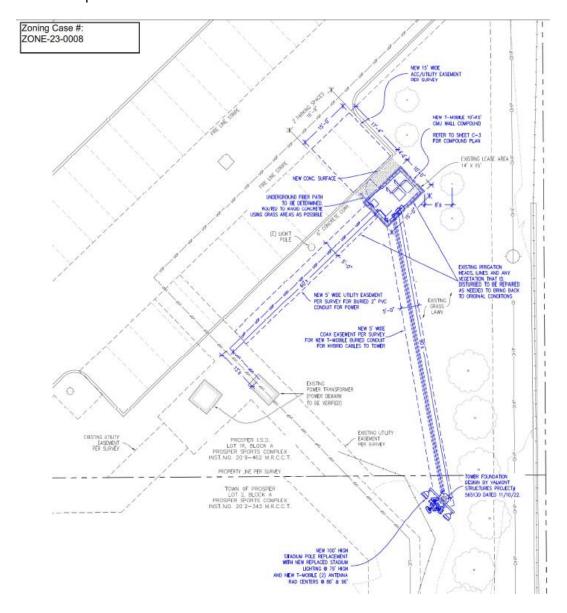
Wireless Communication Exhibit

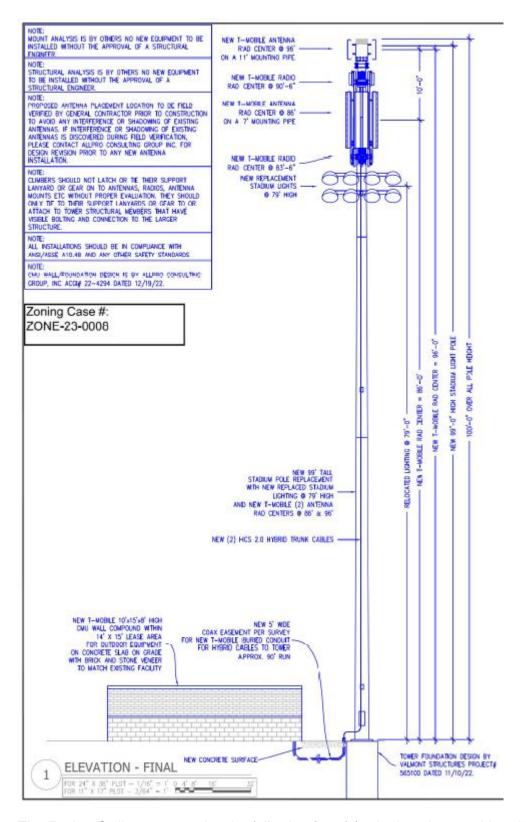


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Below are pictures of the site.





The Zoning Ordinance contains the following four (4) criteria to be considered in determining the validity of a SUP request.

- 1. Is the use harmonious and compatible with its surrounding existing uses or proposed uses?
- 2. Are the activities requested by the applicant normally associated with the requested use?
- 3. Is the nature of the use reasonable?
- 4. Has any impact on the surrounding area been mitigated?

Staff believes the applicant has satisfied the criteria and recommends approval of the request.

Future Land Use Plan - The Future Land Use Plan recommends Medium Density Residential

Thoroughfare Plan – This property currently has direct access to Frontier Parkway.

<u>Parks Master Plan</u> – The Parks Master Plan does not indicate a park is needed on the subject property.

Legal Obligations and Review:

Notification was provided as required by the Zoning Ordinance and state law. To date, staff has not received any reply forms.

Attached Documents:

- 1. Aerial and Zoning Maps
- 2. Exhibits
- 3. Areas of opportunities map

Town Staff Recommendation:

Town staff recommends approval of the Specific Use Permit request for a new Wireless Communications and Support Structure, on .1± acre, located on the south side of Frontier Parkway, west of Talon Lane.

Town Council Public Hearing:

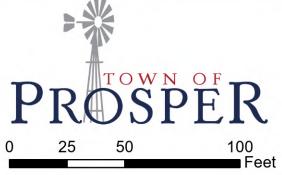
Upon a recommendation by the Planning & Zoning Commission, a Public Hearing for this item will be scheduled for the Town Council at their Regular meeting on June 27, 2023.

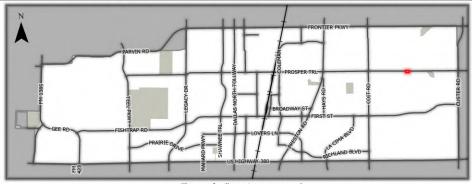
Page 5 of 5



Specific Use Permit







ZONE-22-0001

Anthemnet Whispering Farms Unmanned

Specific Use Permit

GENERAL NOTES

- ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. SUBCONTRACTORS SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE
- ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- 4. THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR
- THE SUBCONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED
- 7. THE SUBCONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
- SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWING MUST BE VERIFIED. SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH
- ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EQUIPMENT SHOULD BE SHUTDOWN PRIOR TO PERFORMING ANY WORK THAT COULD EXPOSE THE WORKERS TO DANGER. PERSONAL RF EXPOSURE MONITORS ARE ADVISED TO BE WORK TO ALERT OF ANY DANGEROUS

DRIVING DIRECTIONS:

7668 WARREN PKWY, FRISCO, TX 75034, GET ON DALLAS NORTH TOLLWAY N FROM MCCANDLESS WAY AND DALLAS PKWY, HEAD NORTH TOWARD MCCANDLESS WAY, TURN RIGHT TOWARD MCCANDLESS WAY, TURN LEFT TOWARD MCCANDLESS WAY, TURN RIGHT AT THE 1ST CROSS STREET ONTO MCCANDLESS WAY, TURN RIGHT ONTO DALLAS PKWY, TAKE THE DALLAS PKWY N RAMP ON THE LEFT, TOLL ROAD, MERGE ONTO DALLAS NORTH TOLLWAY N, TOLL ROAD, FOLLOW S DALLAS PKWY AND W FRONTIER PKWY TO YOUR DESTINATION, CONTINUE ONTO S DALLAS PKWY, CONTINUE STRAIGHT ONTO N DALLAS PKWY, TURN RIGHT ONTO W FRONTIER PKWY, TURN LEFT ONTO PRAIRIE XING, TURN RIGHT ONTO BERKSHIRE LN, TURN RIGHT, DESTINATION WILL BE ON THE LEFT, 1240 W FRONTIER PKWY, PROSPER, TX 75078

T--Mobile

NEW SITE BUILD

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

T-MOBILE SITE NUMBER

DA03931D

SITE ADDRESS

1240 W FRONTIER PKWY PROSPER, TX 75078 **COLLIN COUNTY**

BUILDING CODES

- INTERNATIONAL BUILDING CODE, 2015 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- NATIONAL ELECTRICAL CODE, 2017 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- INTERNATIONAL MECHANICAL CODE, 2015 EDITION AS ADOPTED BY LOCAL JURISDICTION.
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION AS ADOPTED BY LOCAL JURISDICTION.

ENLARGED VICINITY MAP 289 County Road 83 (281) 289 Prosper, TX, 75078-8569 287 289 Dallas Mesqu 289 (67) W 1st St

APPROVED FOR CONSTRUCTION

PROPERTY OWNER OR REP LAND USE PLANNER NETWORK T-MOBILE BACKHAUI

CONSTRUCTION MANAGER

SHEET INDEX

OPERATIONS

TITLE SHEET (COVER PAGE)

OVERALL SITE PLAN

ENLARGED SITE PLAN EQUIPMENT COMPOUND PLAN

ELEVATION & ANTENNA LAYOUT

RFDS PLUMBING DIAGRAM

EQUIPMENT SPEC SHEET

EQUIPMENT SPEC SHEET

EQUIPMENT SPEC SHEET

EQUIPMENT SPEC SHEET

EQUIPMENT SPEC SHEET EQUIPMENT SPEC SHEET

F-1POWER PLAN

ELECTRICAL ONE-LINE DIAGRAM

GROUNDING PLAN

G-2GROUNDING DETAILS

GROUNDING DETAILS

CMU WALL DESIGN

PAD DETAILS

MASONRY NOTES

PROJECT SUMMARY:

SITE TYPE

EXISTING 99' LICHT POLE WITH EXISTING RELATED UNMANNED COMMUNICATION EQUIPMENT AT BASE OF TOWER

SITE INFORMATION

33.25853629* LONG: -96.803366 633' AMSL ELEV: JURISDICTION: COLLIN COUNTY OCCUPANCY: COLO UNMANNED CONSTRUCTION TYPE: LIGHT POLE

APPLICANT

T-MOBILE DUKE BRIDGES CAMPUS 7668 WARREN PARKWAY FRISCO, TX 75034

LANDLORD

TOWN OF PROSPER 250 WEST FIRST STREET PROSPER, TX 75078 CONTACT: CHUCK SPRINGER

CONTRACTORS:

A&E CONTRACTOR

ALLPRO CONSULTING GROUP, INC. 9221 LYNDON B. JOHNSON FREEWAY, SUITE 204 DALLAS, TX 75243 CONTACT: SHIQIANG ZHANG, P.E. OFFICE: 972-231-8893 FAX: 866-364-8375

TEXAS ONE CALL

CONTRACTOR TO CALL 48 HOURS BEFORE DIGGING! PHONE: 800-545-6005 INDEPENDENT LOCATORS TO BE USED ON ALL SITES



DUKE BRIDGES CAMPUS 7668 WARREN PARKWAY FRISCO, TX 75034 0FFICE: (972) 464-3510



21-0860

DRAWN BY: DR/TS

CHECKED BY: S7

		REVISIONS	
NO	DATE	DESCRIPTION	BY
		PRELIM CD	DR
0	01/24/23	FINAL CD	TS



9221 LYNDON B JOHNSON FWY IITE 204, DALLAS, TX 75243 PHONE: 972-231-8893 FAX: 866-364-8375 WWW.ALLPROCGI.COM FIRM NO. F-8242



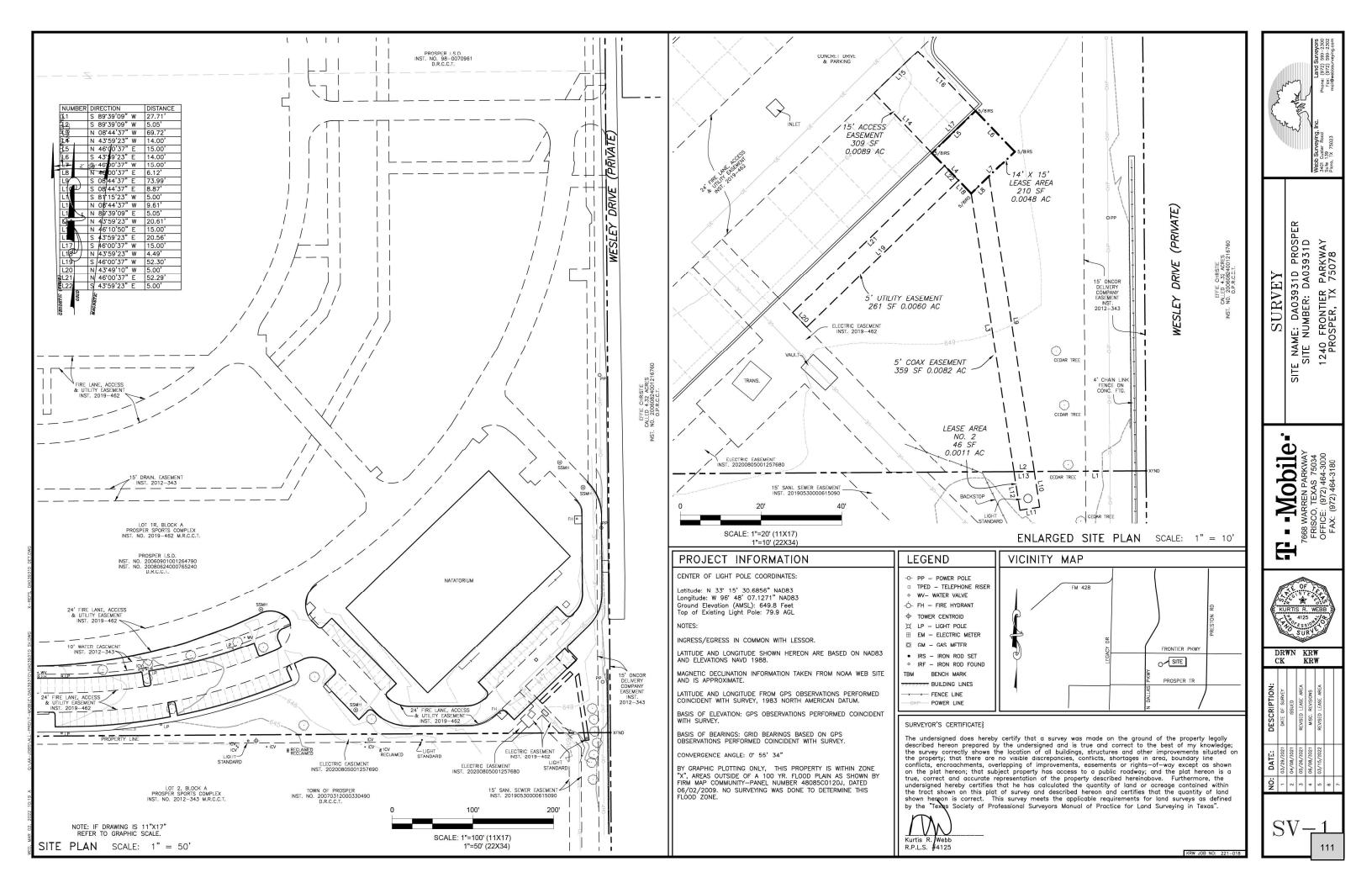
DA03931D

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

TITLE SHEET

110



COMMENCING at a chiseled "x" set in concrete found for the southeast corner of said Lot 1R, also being the most easterly northeast corner of Lot 2. Block A. of Prosper Sports Complex an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2012-343.

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2. South 89 degrees 39 minutes 09 seconds West, a distance of 32.76 feet to a Point;

THENCE through the interior of said Lot 1R. North 08 degrees 44 minutes 37 seconds West, a distance of 69.72 feet to a 5/8" iron rod set with cap marked "WEBB-4125" for the POINT OF BEGINNING hereof:

THENCE continuing through the interior of said Lot 1R the

- 1. North 43 degrees 59 minutes 23 seconds West, a distance of 14.00 feet to a 5/8" iron rod set with cap marked
- 2. North 46 degrees 00 minutes 37 seconds Fast, a distance of 15.00 feet to a 5/8" iron rod set with cap marked "WFRR-4125"
- 3. South 43 degrees 59 minutes 23 seconds East, a distance of 14.00 feet to a 5/8" iron rod set with cap marked "WFBB-4125":
- 4. South 46 degrees 00 minutes 37 seconds West, a distance of 15.00 feet to the POINT OF BEGINNING hereof and containing 0.0048 acres or 210 square feet of land, more

15' ACCESS FASEMENT

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument No. 2019—462, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Prosper Independent School District by Instrument No. 20060901001264790, corrected by Instrument No 20080624000765240, Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as

COMMENCING at a chiseled "x" set in concrete found for the southeast corner of said Lot 1R, also being the most easterly northeast corner of Lot 2, Block A, of Prosper Sports Complex an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2012-343,

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, South 89 degrees 39 minutes 09 seconds West, a distance of 32.76 feet to a Point;

THENCE through the interior of said Lot 1R, the following two (2) courses:

- 1. North 08 degrees 44 minutes 37 seconds West, a distance of 69.72 feet to a 5/8" iron rod set with cap marked "WEBB-4125":
- 2. North 43 degrees 59 minutes 23 seconds West, a distance of 14.00 feet to the POINT OF BEGINNING hereof:

THENCE continuing through the interior of said Lot 1R the

- North 43 degrees 59 minutes 23 seconds West, a distance of 20.61 feet to a Point on the south line of an existing 24' fire lane, access, and utility easement as dedicated by said Replat Prosper Sports Complex;
- 2. Along said 24' fire lane, access, and utility easement, North 46 degrees 10 minutes 50 seconds East, a distance of 15.00 feet to a Point:
- 3. South 43 degrees 59 minutes 23 seconds East, a distance of 20.56 feet to a Point:
- 4. South 46 degrees 00 minutes 37 seconds West, a distance of 15.00 feet to the POINT OF BEGINNING hereof and containing 0.0089 acres or 309 square feet of land, more

5' UTILITY EASEMENT

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument No. 2019-462, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Prosper Independent School District by Instrument No. 20060901001264790, corrected by Instrument No. 20080624000765240, Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, South 89 degrees 39 minutes 09 seconds West, a distance of 32.76 feet to a Point;

THENCE through the interior of said Lot 1R the following two

- 1. North 08 degrees 44 minutes 37 seconds West, a distance of 69.72 feet to a 5/8" iron rod set with cap marked
- 2. North 43 degrees 59 minutes 23 seconds West, a distance of 4.49 feet to the POINT OF BEGINNING hereof;

THENCE continuing through the interior of said Lot 1R the following four (4) courses:

- 1. South 46 degrees 00 minutes 37 seconds West, a distance of 52.30 feet to a Point on the northeast line of an existing electric easement as dedicated by said Replat Prosper Sports Complex:
- 2. Along said existing electric easement, North 43 degrees 49 minutes 10 seconds West, a distance of 5.00 feet to a
- North 46 degrees 00 minutes 37 seconds East, a distance of 52.29 feet to a Point;
- 4. South 43 degrees 59 minutes 23 seconds Fast, a distance of 5.00 feet to the POINT OF BEGINNING hereof and containing 0.0060 acres or 261 square feet of land, more

5' COAX EASEMENT

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument No. 2019—462, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Prosper Independent School District by Instrument No. 20060901001264790, corrected by Instrument No 20080624000765240, Deed Records, Collin County, Texas, and peing more particularly described by metes and bounds as

COMMENCING at a chiseled "x" set in concrete found for the southeast corner of said Lot 1R, also being the most easterly northeast corner of Lot 2, Block A, of Prosper Sports Complex an addition to the Town of Prosper, Collin County, Texas according to the plat thereof recorded in Volume 2012-343.

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2. South 89 degrees 39 minutes 09 seconds West, a distance of 27.71 feet to the

THENCE continuing along the south line of said Lot 1R, same being the most easterly north line of said Lot 2. South 89 degrees 39 minutes 09 seconds West, a distance of 5.05 feet

THENCE through the interior of said Lot 1R the following three

- 1. North 08 degrees 44 minutes 37 seconds West, a distance of 69.72 feet to a Point:
- 2. North 46 degrees 00 minutes 37 seconds East, a distance
- South 08 degrees 44 minutes 37 seconds East, a distance of 73.99 feet to the POINT OF BEGINNING hereof and containing 0.0082 acres or 359 square feet of land, more

LEASE AREA #2

BEING a tract of land situated in the Collin County School Land Survey, Abstract No. 147, Collin County, Texas, also being situated in Lot 2, Block A, Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Volume 2012—343, Map Records, Collin County, Texas, and being out of and a portion of that certain tract of land conveyed to the Town of Prosper by Instrument No. 20070312000330490. Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a chiseled "x" set in concrete found for the southeast corner of Lot 1R, Block A, Replat Prosper Sports Complex, an addition to the Town of Prosper, Collin County, Texas, according to the plat thereof recorded in Instrument 2019-462, Map Records, Collin County, Texas, also being the most easterly northeast corner of said Lot 2:

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, South 89 degrees 39 minutes 09 seconds West, a distance of 27.71 feet to the POINT OF BEGINNING hereof:

THENCE through the interior of said Lot 2 the following three

- 1. South 08 degrees 44 minutes 37 seconds East, a distance of 8.87 feet to a Point:
- 2. South 81 degrees 15 minutes 23 seconds West, a distance of 5.00 feet to a Point:
- 3. North 08 degrees 44 minutes 37 seconds West, a distance

THENCE along the south line of said Lot 1R, same being the most easterly north line of said Lot 2, North 89 degrees 39 minutes 09 seconds East, a distance of 5.05 feet to the POINT OF BEGINNING hereof and containing 0,0011 acres or 46 square Surveyor's address to items relevant to survey as described in Report of Title prepared by US Title Solutions, 67571-TX2103-5039 effective date 03/15/2021

Easement by C. B. Shipley to Texas Power & Light Company, of Dallas, Texas, dated 11/19/1924 recorded 3/14/1925 in book

Right of Way by Virginia Shipley, a widow to Lone Star Gas Company, a Corporation, dated 8/15/1955 recorded 12/16/1955 in book 507 page 364. Does not affect the subject tract.

Easement by Prosper Independent School District to County of Collin, acting by and through Collin County Commissioners Court, dated 8/7/2000 recorded 9/6/2000 in Instrument No: 2000-0096880. Current right-of-way of Frontier Parkway; does not affect the subject tract.

Easement by William F. Ellis, Vice President Bank of America, N.A., Trustee of the Virginia C. Shipley Trust to TXU Gas Company, a corporation, dated 2/12/2002 recorded 4/4/2002 in Instrument No: 2002-0032402. Does not affect the subject tract.

Easement by William F. Ellis, Vice President Bank of America, N.A., Trustee, amnd Tommy Allen to CoServ Gas, Ltd., a Texas limited partnership, dated 3/6/2006 recorded 3/9/2006 in Instrument No: 20060309000306590. Does not affect the lease area, access easement, coax or utility easements shown hereon.

Easement by William F. Ellis, Vice President Bank of America N.A., Trustee, and Tommy Allen to CoServ Gas, Ltd., a Texas limited partnership, dated 3/6/2006 recorded 3/9/2006 in Instrument No: 20060309000306600. Does not affect the subject

Easement by Town of Prosper to Oncor Electric Delivery Company LLC, a Delaware limited liability company, dated 10/17/2017 recorded 11/27/2017 in Instrument No: 20171127001564720. Does not affect the subject tract

Easement by Prosper Independent School District to Grayson Collin Electric Cooperative, Inc., dated 7/28/2020 recorded 8/5/2020 in Instrument No :20200805001257680. Shown hereon; affects the utility easement shown hereon.

Prosper Sports Complex Lots 1 & 2, Block A dated 9/4/2012 recorded 9/20/2012 in Instrument No. 2012-343. Easements dedicated therein shown hereon

Replat Prosper Sports Complex Lot 1R, Block A dated 6/27/2019 recorded 7/8/2019 in Instrument No. 2019-462. Easements dedicated therein shown hereon.

PROJECT INFORMATION

CENTER OF LIGHT POLE COORDINATES:

Latitude: N 33' 15' 30 6856" NAD83 Longitude: W 96* 48' 07.1271" NAD83 Ground Elevation (AMSL): 649.8 Feet Top of Existing Light Pole: 79.9 AGL

NOTES:

INGRESS/EGRESS IN COMMON WITH LESSOR.

LATITUDE AND LONGITUDE SHOWN HEREON ARE BASED ON NAD83

MAGNETIC DECLINATION INFORMATION TAKEN FROM NOAA WEB SITE

LATITUDE AND LONGITUDE FROM GPS OBSERVATIONS PERFORMED COINCIDENT WITH SURVEY, 1983 NORTH AMERICAN DATUM BASIS OF ELEVATION: GPS OBSERVATIONS PERFORMED COINCIDENT

BASIS OF BEARINGS: GRID BEARINGS BASED ON GPS OBSERVATIONS PERFORMED COINCIDENT WITH SURVEY.

CONVERGENCE ANGLE: 0° 55' 34"

BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS WITHIN ZONE AREAS OUTSIDE OF A 100 YR. FLOOD PLAIN AS SHOWN BY FIRM MAP COMMUNITY-PANEL NUMBER 48085C0120J. DATED 06/02/2009. NO SURVEYING WAS DONE TO DETERMINE THIS FLOOD ZONE.

LEGEND

- -O- PP POWER POLE
- □ TPED TELEPHONE RISER
- WV- WATER VALVE
- -C- FH FIRE HYDRANT
- + TOWER CENTROID
- X LP LIGHT POLE
- ₩ EM ELECTRIC METER
- GM GAS MFTFR
- IRS IRON ROD SET
- IRF IRON ROD FOUND TBM BENCH MARK

BUILDING LINES -×----×-- FENCE LINE POWER LINE

SURVEYOR'S CERTIFICATE?

The undersigned does hereby certify that a survey was made on the ground of the property legally described hereon prepared by the undersigned and is true and correct to the best of my knowledge; the survey correctly shows the location of all buildings, structures and other improvements situated or the property; that there are no visible discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or rights-of-way except as shown on the plat hereon; that subject property has access to a public roadway, and the plat hereon is a true, correct and accurate representation of the property described hereinabove. Furthermore, the undersigned hereby certifies that he has calculated the quantity of land or acreage contained within the tract shown on this plat of survey and described hereon and certifies that the quantity of land shown hereon is correct. This survey meets the applicable requirements for land surveys as defined by the "Texas Society of Professional Surveyors Manual of Practice for Land Surveying in Texas".

R.P.L.S. #4125

VICINITY MAP FM 428 SITE PROSPER TE

NAME: DA03931D PROSP TE NUMBER: DA03931D PARKWAY 75078 FRONTIER OSPER, TX 1240 PR(

URVEY

 $\overline{\Omega}$

SITE 0

-Mobile



DRWN KRW CK KRW

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112

HE PROPOSED SITE IS LOCATED IN FLOOD ZONE X, AERA OF MINIMAL FLOOD HAZARD, PER FEMA MAP# 48085C0120J EFFECTIVE ON 06/02/09. IF A PROFESSIONAL CONSULTANT HAS FINDING OF FLOODING/WETLANDS CONTACT ALLPRO CONSULTING GROUP, INC

SITE LAYOUT IS BASED ON ZONING DRAWINGS BY ALLPRO CONSULTING GROUP, INC ACGI#21-5315 DATED 03/23/22 AND SITE WALK BY ALLPRO CONSULTING GROUP, INC. ACGI#21-0857 DATED 03/23/21. IF ANY DISCREPANCY IS NOTICED BETWEEN THE ACTUAL SITE LAYOUT AND THESE DRAWINGS, PLEASE NOTIFY ALLPRO CONSULTING GROUP, INC. FOR A REDESIGN.

ALL INSTALLATIONS SHOULD BE IN COMPLIANCE WITH ANSI/ASSE A10.48 AND ANY OTHER SAFETY STANDARDS.

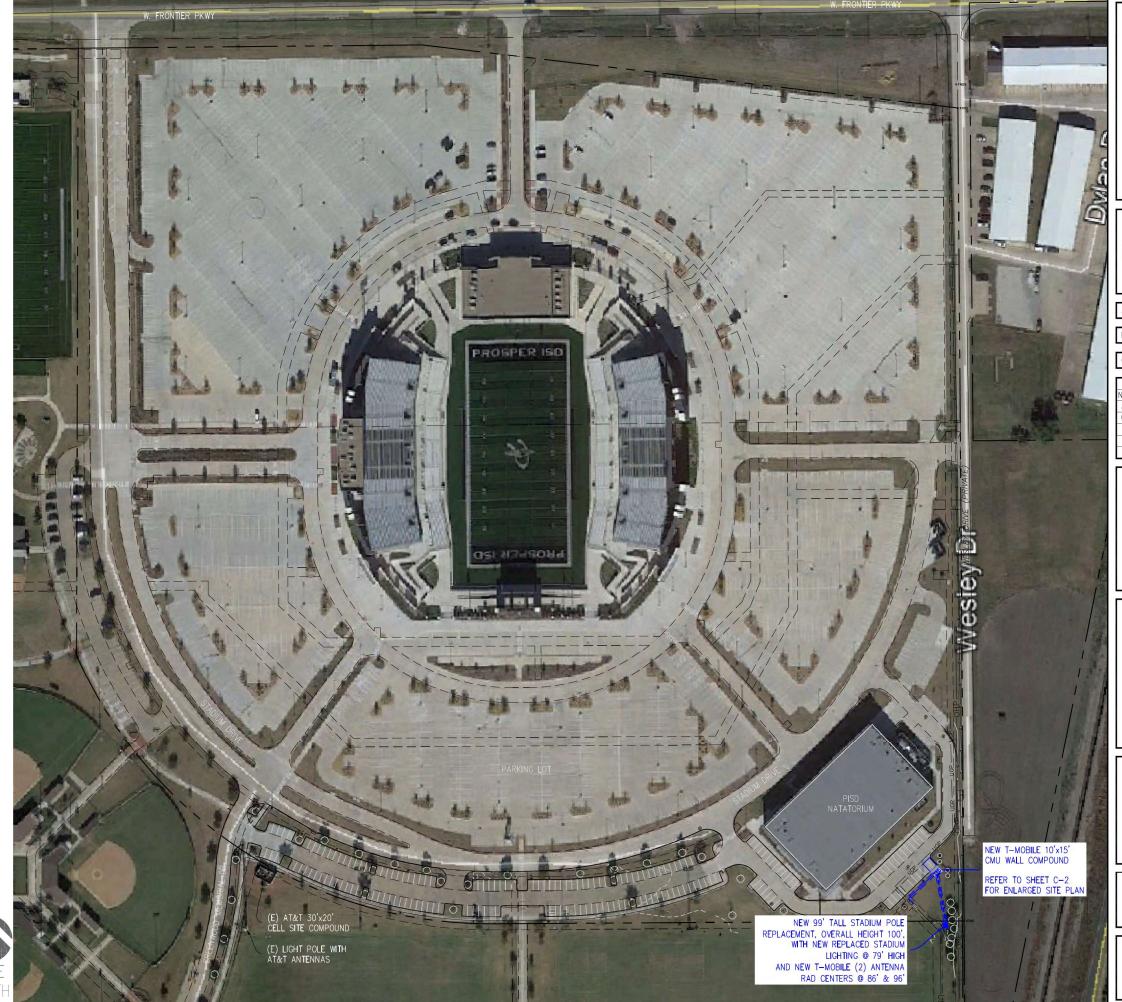
- PROPOSED BURIED OR OVERHEAD UTILITIES MUST BE CONTAINED WITHIN A DEDICATED UTILITY EASEMENT. ALL EXISTING AND NEW UTILITY EASEMENTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. NO DIGGING OR TRENCHING SHALL BE ALLOWED WITHOUT PRIOR VERIFICATION OF EXISTING BURIED UTILITIES.
- 2. POWER & FIBER/TELCO SOURCES AND ROUTING TO BE FIELD
- 3. ALL UTILITY RUNS TO BE LOCATED WITHIN EASEMENT

NOTE: REFERENCE SURVEY BY WEBB SURVEYING, INC KRW JOB# 221-018 DATED 03/15/22. ALL PROPERTY LINES, UTILITIES AND EASEMENTS TO BE VERIFIED IN FIELD. DUE DILIGENCE SHALL BE DONE BY OTHERS BEFORE THE SITE IS BUILT AS SHOWN. IN CASE OF ANY CONFLICTS DUE TO PROPERTY LINES OR NEW EXPANSION ON AN EXISTING EASEMENTS OR DUE TO LANDLORD PREFERENCE FOR A DIFFERENT DESIGN, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC FOR A REDESIGN BEFORE SITE IS BUILT.

CMU WALL/FOUNDATION DESIGN IS BY ALLPRO CONSULTING GROUP, INC ACGI# 22-4294 DATED 12/19/22.

LEGEND

- -O- PP POWER POLE
- □ TPED TELEPHONE RISER
- · WV- WATER VALVE - FH - FIRE HYDRANT
- + TOWER CENTROID
- X LP LIGHT POLE ⊞ EM − ELECTRIC METER
- GM GAS METER
- IRS IRON ROD SET ○ IRF - IRON ROD FOUND
- TBM BENCH MARK
- BUILDING LINES
- FENCE LINE OHP POWER LINE







SUITE. 200 SAINT CHARLES, MO 63304 PHONE: 636-922-3400 600 E. JOHN CARPENTER FWY. STE 357 IRVING, TX 75062 PHONE: 972-717-780

ACGI NO: 21-0860

DRAWN BY: DR/TS

CHECKED BY:

		REVISIONS	
NO	DATE	DESCRIPTION	BY
Α	01/10/23	PRELIM CD	DR
0	01/24/23	FINAL CD	TS



9221 LYNDON B JOHNSON FWY SUITE 204, DALLAS, TX 75243 PHONE: 972-231-8893 FAX: 866-364-8375 WWW.ALLPROCGI.COM FIRM NO. F-8242



DA03931D

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE

OVERALL SITE PLAN

OVERALL SITE PLAN

HE PROPOSED SITE IS LOCATED IN FLOOD ZONE X, AERA OF MINIMAL FLOOD HAZARD, PER FEMA MAP# 48085C0120J EFFECTIVE ON 06/02/09. IF A PROFESSIONAL CONSULTANT HAS FINDING OF FLOODING/WETLANDS CONTACT ALLPRO CONSULTING GROUP, INC

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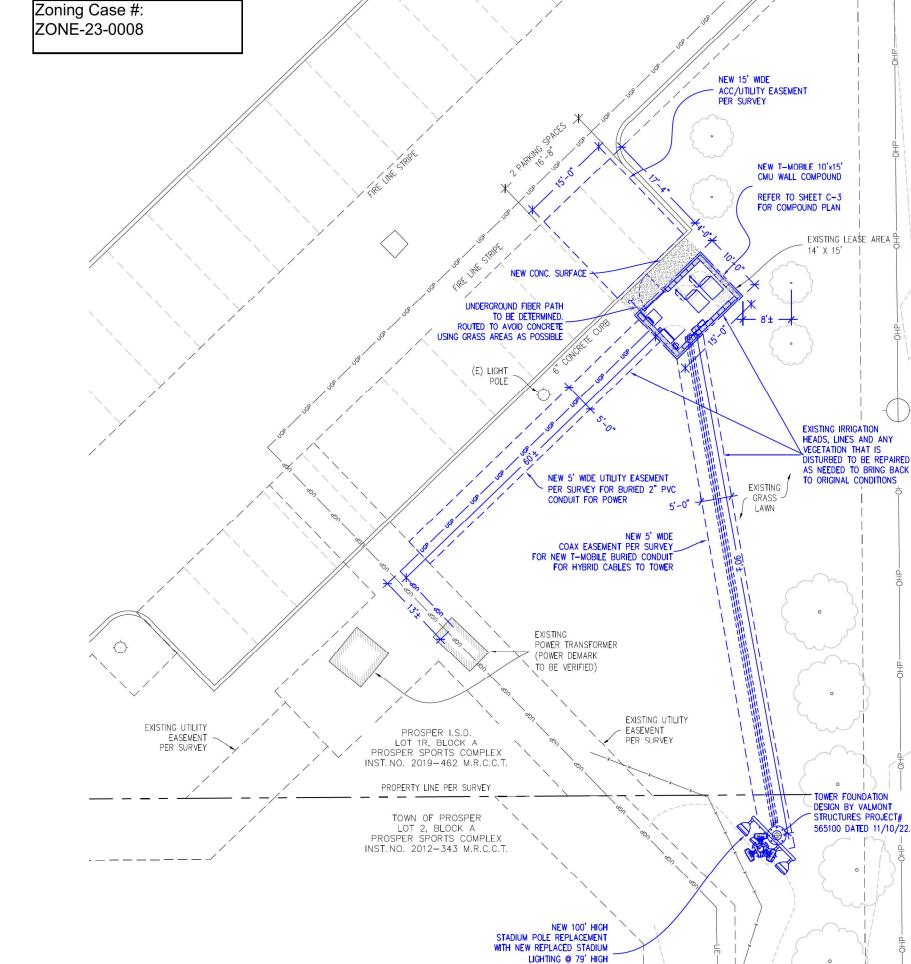
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LEGEND

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- □ TPED TELEPHONE RISER
- WV- WATER VALVE - FH - FIRE HYDRANT
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- X LP LIGHT POLE
- ⊞ EM − ELECTRIC METER GM - GAS METER
- IRS IRON ROD SET
- IRF IRON ROD FOUND
- BENCH MARK
- BUILDING LINES - FENCE LINE OHP POWER LINE



AND NEW T-MOBILE (2) ANTENNA

RAD CENTERS @ 86' & 96'





SUITE 200 SAINT CHARLES, MO 63304 PHONE: 636-922-340 600 E. JOHN IRVING, TX 75062 PHONE: 972-717-780

21-0860

ACGI NO:

DRAWN BY: DR/TS

CHECKED BY:

NO	DATE	DESCRIPTION	BY
Α	01/10/23	PRELIM CD	DR
0	01/24/23	FINAL CD	TS



9221 LYNDON B JOHNSON FWY SUITE 204, DALLAS, TX 75243 PHONE: 972-231-8893 FAX: 866-364-8375 WWW.ALLPROCGI.COM FIRM NO. F-8242



DA03931D

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

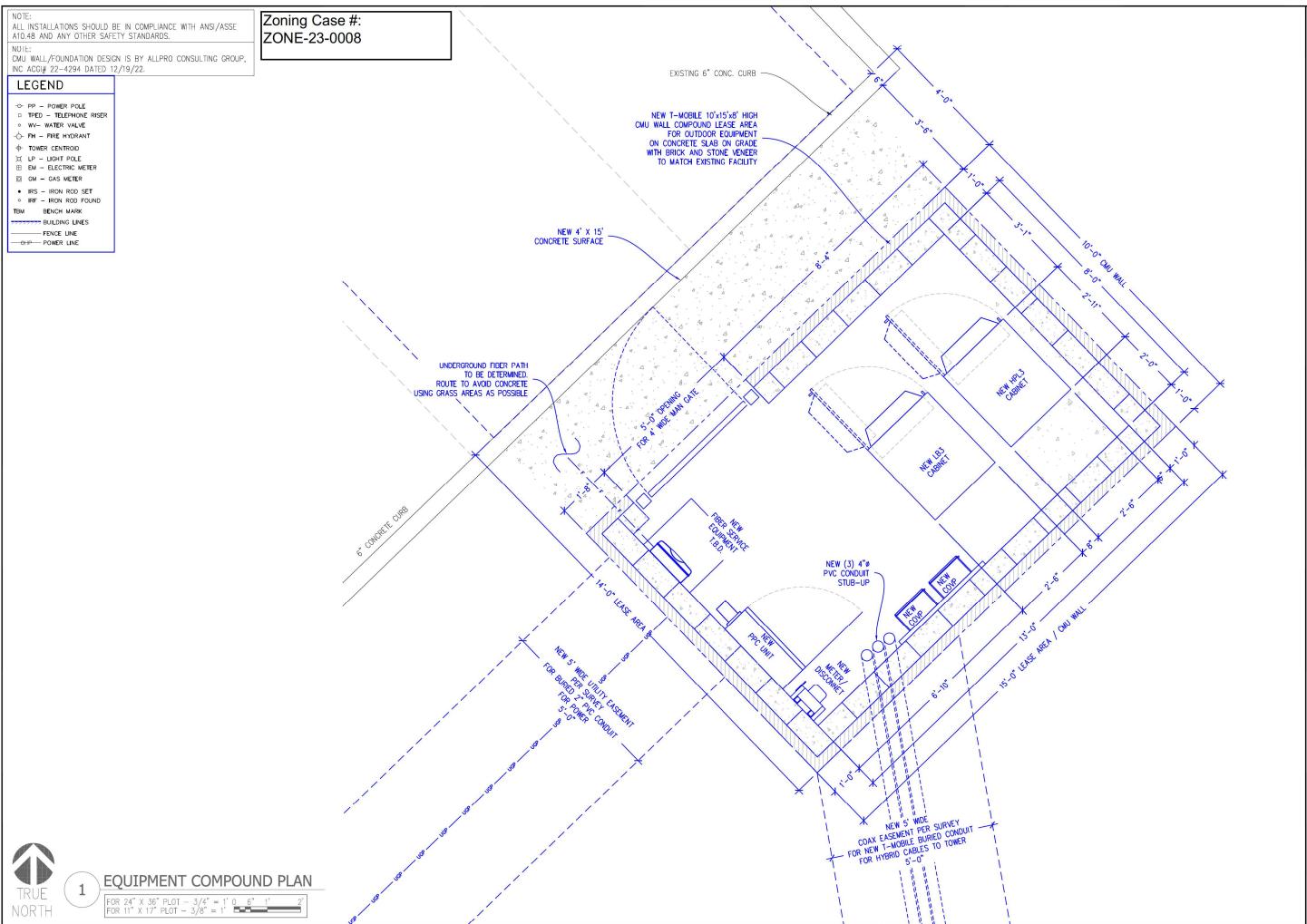
SHEET TITLE

ENLARGED SITE PLAN



ENLARGED SITE PLAN

FOR 24" X 36" PLOT - 1/8" = 1' FOR 11" X 17" PLOT - 1/16" = 1'



DUKE BRIDGES CAMPUS 7668 WARREN PARKWAY FRISCO, TX 75034 OFFICE: (972) 464-3510



SUITE. 200 SAINT CHARLES, MO 63304 PHONE: 636-922-3400 600 E. JOHN CARPENTER FWY. STE 357 IRVING, TX 75062 PHONE: 972-717-7802

ACGI NO:

DRAWN BY: DR/TS

21-0860

CHECKED BY:

NO DATE DESCRIPTION A 01/10/23 PRELIM CD	00
and the state of t	DK
0 01/24/23 FINAL CD	TS



9221 LYNDON B JOHNSON FWY SUITE 204, DALLAS, TX 75243 PHONE: 972—231—8893 FAX: 866—364—8375 WWW.ALLPROCGI.COM FIRM NO. F-8242



DA03931D

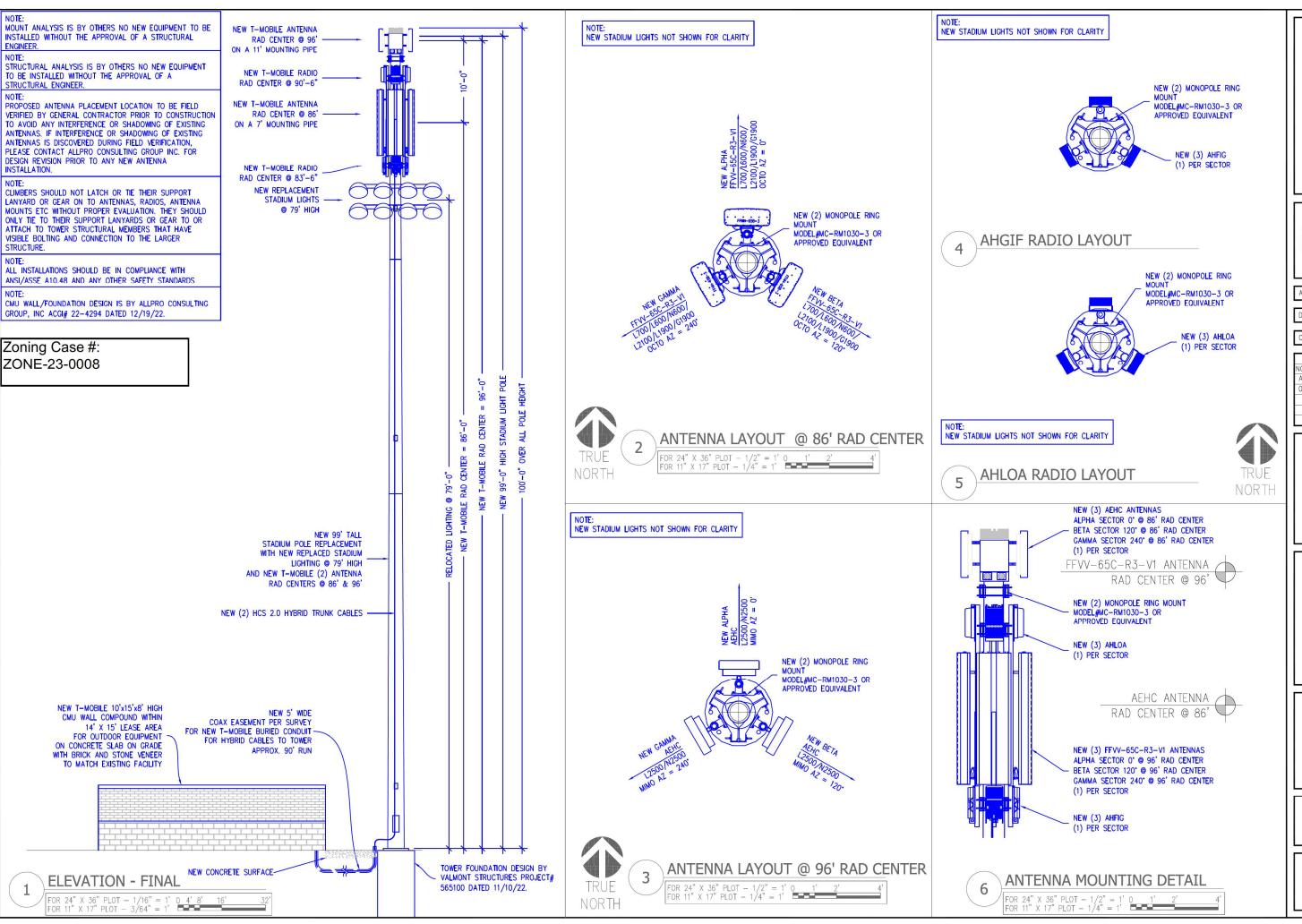
PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE

EQUIPMENT COMPOUND PLAN

G-Z 115



DUKE BRIDGES CAMPUS 7668 WARREN PARKWAY FRISCO, TX 75034 OFFICE: (972) 464-3510



SUITE. 200
SAINT CHARLES,
MO 63304
PHONE: 636-922-3400
600 E. JOHN
CARPENTER FWY.
STE 357
IRVING, TX 75062
PHONE: 972-717-7802

ACGI NO: 21-0860

DRAWN BY: DR/TS

CHECKED BY: SZ



9221 LYNDON B JOHNSON FWY SUITE 204, DALLAS, TX 75243 PHONE: 972–231–8893 FAX: 866–364–8375 WWW.ALLPROCGI.COM FIRM NO. F–8242



DA03931D

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

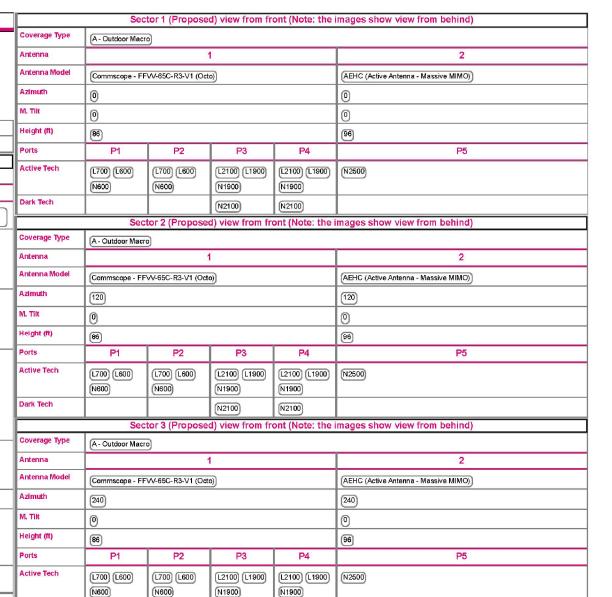
SHEET TITLE

ELEVATION & ANTENNA LAYOUT

SHEET NUMB

C-3 116

		Section 1 - Site Inform	nation		
Site ID: DA03931	ID.	Site Name: DA03931D	Latitude: 33,258	53620	Coverage 1
Status: Final Version: 1		Site Class: Light Pole Site Type: Structure Non Building		Longitude: -96.803366	
Project Type: Ma	arket Infill 9/2023 12:23:28 PM	Plan Year: 2021 Market: DALLAS TX	City, State: <uno Region: SOUTH</uno 		Antenna M
Approved By: M	ILIND.GANDHI6@T-MOBILE.COM 1/18/2023 12:23:28 PM	Vendor: Nokia Landlord: City of Prosper	Region. 300 in		Azimuth
	: MILIND.GANDHI6@T-MOBILE.COM	Landiold. City of Prosper			M. Tilt
RAN Template: 5	6790EAH_SR_T	AL Tem	plate: 56790EAH_SR_T		Height (ft)
Sector Count: 3	Antenna Count: 6	Coax Line Count: 0	TMA Count: 0	RRU Count: 6	Ports
		Proposed RAN Equip			Active Tech
Enclosure	4	Template: 56790EAH_S	1	1	-
Enclosure Type	1	2	3	4	Dark Tech
Enclosure Type	Tower Top Mount (Nokia)	Purcell HPL3 600A Site Support Cabinet	(Ancillary Equipment (Nokia)	Purcell LB3 Battery Cabinet (4 strings))
Radio	AHFII (x3) AHLOA (x3)				Coverage 1
	N1900 N600 N2100 (DARK) L600				Antenna
	L1900 L700				Antenna Me
Baseband					Azimuth
		ASIA ASIL ASIL N2500			M. Tilt
		L700 N1900 L1900 N2100 (DARK)			Height (ft)
		L2100			Ports
Baseband Submodule		ABIA (x2) ABIA ABIL N600			Active Tech
		L2100 [700] ABIL (x 2)			Active roof
		N1900 (N2100 (DARK))			Dark Tech
		ABIO			
		N2500			Coverage 1
Power subsystem				Batteries *Select size*	Antenna
				Breakers *Select size* Rectifier Shelf *Select size*	Antenna M
Transport System				Recaller Shell Select size	Azimuth
Hybrid Cable		(CSR IXRe V2 (Gen2)			M. Tilt
System	Nokia HCS 2.0 Jumper Cable Airscale *Select Length* (x 9)	Extra Amplifier Module for Raycap PowerPlus Voltage Booster	Nokia HCS 2.0 Trunk *Select Length* (x2)		
		Raycap PowerPlus S2 Voltage Booster w/ 2 Modules (Only			Height (ft)
Junction Box		compatible with HCS 1.0/2.0)			Ports
Junction Box			Nokia HCS 2.0 Tower Junction Box (x 2)		Active Tech
RAN Scope of World	- k:				Dark Tech
1/18/2023: RFDS t	pdated with 86 RAD for Octo Antenna a	nd 96 RAD for AEHC Antenna, approved	l by RF and to match with CD.		7
11/23/2022 : RFDS	updated with Purcell Cabinets and Ray	cap voltage booster.			
	ipdated to swap ASIB to ASIA.				
H	updated to PH2Y config. updated with the latest Voltage Booster N	Iladula (Dalta Roostar)			
1/25//2021	pualed with the latest voltage booster in	rodule (Delia Boostel)			
Market Infill POR Equipment on top:					
(3) FFVV-65C- R3- (3) AHFIG + (3) AH	LOA				
(2) HCS 2.0 trunk (9) HCS 2.0 jumpe	rs				
Note: (3) AHFIG + (3) AH (3) AEHC will conn	LOA will connect to 1st HCS 2.0, which ect to 2nd HCS 2.0	will need a Voltage booster.			
TX/RX frequencies Block - 600 Downli					
617-627 663-673 Block - 700 Downlin	nk (MHz) Uplink (MHz)				
729-734-699-704 Block - PCS Downl 1945-1965-1865-18	ink (MHz) Uplink (MHz) 385				
Block - AWS Down	link (MHz) Uplink (MHz) 155 1710-1715, 1735-1755 MHz) Uplink (MHz)				
Anchor Downlink (1 2496 – 2690 2496	MHz) Uplink (MHz) – 2690				



N2100

N2100

@ **_** DUKE BRIDGES CAMPUS 7668 WARREN PARKWAY FRISCO, TX 75034 OFFICE: (972) 464-3510



SUITE. 200 SAINT CHARLES, MO 63304 PHONE: 636-922-3400 600 E. JOHN CARPENTER FWY. STE 357 IRVING, TX 75062 PHONE: 972-717-7802

ACGI NO:

DRAWN BY:

21-0860

DR/TS

CHECKED BY:

NO	DATE	DESCRIPTION	BY
		PRELIM CD	DR
0	01/24/23	FINAL CD	TS



SUITE 204, DALLAS, TX 75243 PHONE: 972–231–8893 FAX: 866–364–8375 WW.ALLPROCGI.COM FIRM NO. F–8242



DA03931D

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

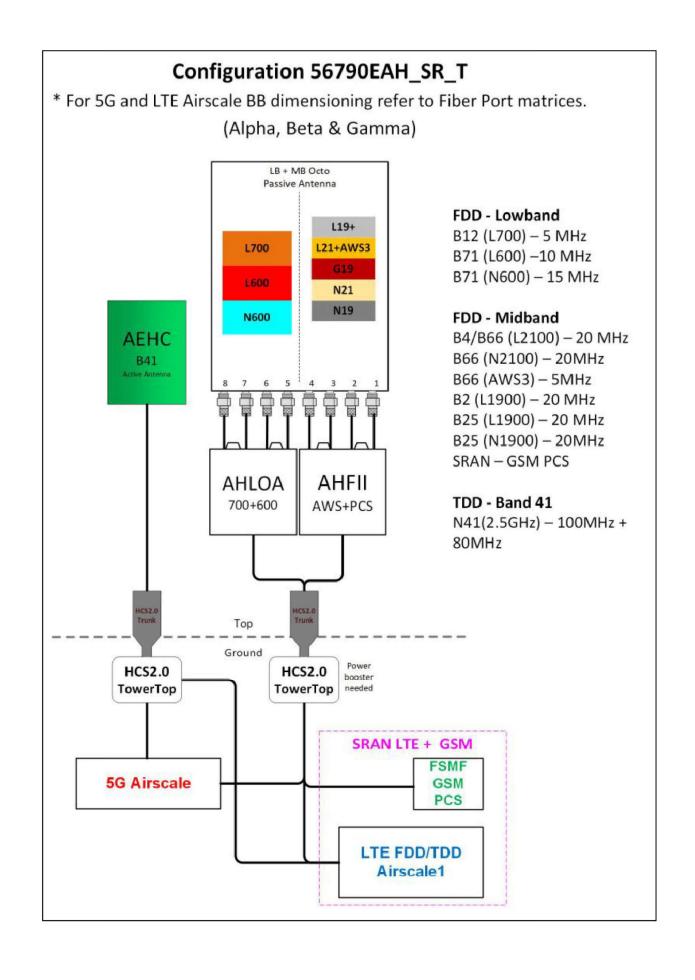
1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE

RFDS

SHEET NUMBER









5055 HIGHWAY "N" SUITE, 200 SAINT CHARLES, MO 63304 PHONE: 636-922-3400 600 E. JOHN CARPENTER FWY. STE 357 IRVING, TX 75062 PHONE: 972-717-7802

ACGI NO: 21-0860

DRAWN BY: DR/TS

CHECKED BY: SZ

		REVISIONS	
NO	DATE	DESCRIPTION	BY
Α	01/10/23	PRELIM CD	DR
0	01/24/23	FINAL CD	TS



9221 LYNDON B JOHNSON FWY SUITE 204, DALLAS, TX 75243 PHONE: 972–231–8893 FAX: 866–364–8375 WWW.ALLPROCGI.COM FIRM NO. F–8242



DA03931D

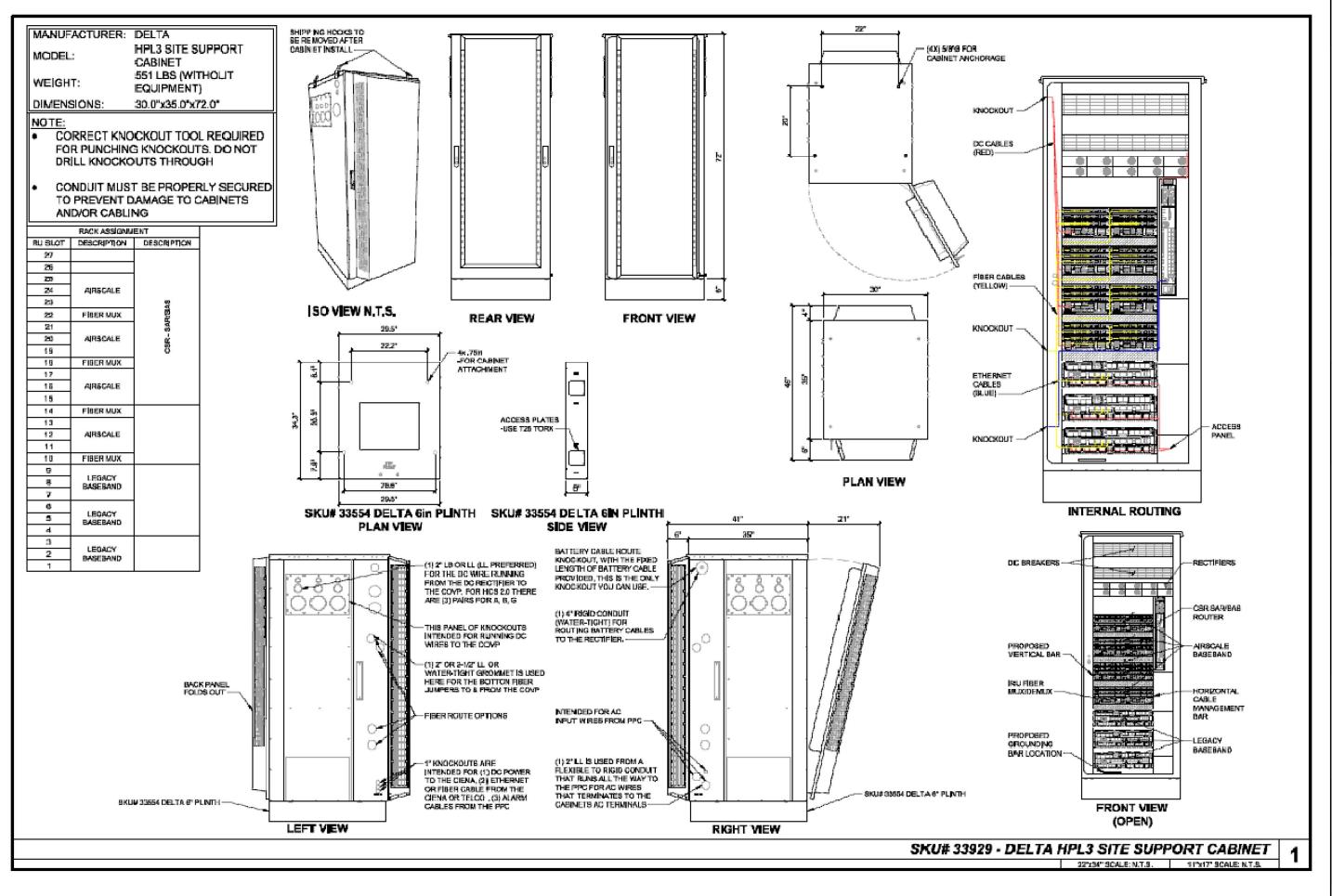
PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

RFDS
PLUMBING DIAGRAM

SHEET NUMBE

C-5 118



DUKE BRIDGES CAMPUS 7668 WARREN PARKWAY FRISCO, TX 75034 OFFICE: (972) 464-3510



SUSTE, 200
SAINT CHARLES,
MO 63304
PHONE: 636-922-3400
600 E. JOHN
CARPENTER FWY.
STE 357
IRVING, TX 75062
PHONE: 972-717-7802

ACGI NO: 21-0860

DRAWN BY: DR/TS

CHECKED BY:



9221 LYNDON B JOHNSON FWY SUITE 204, DALLAS, TX 75243 PHONE: 972-231-8893 FAX: 866-364-8375 WWW.ALLPROCGI.COM FIRM NO. F-8242



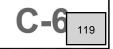
DA03931D

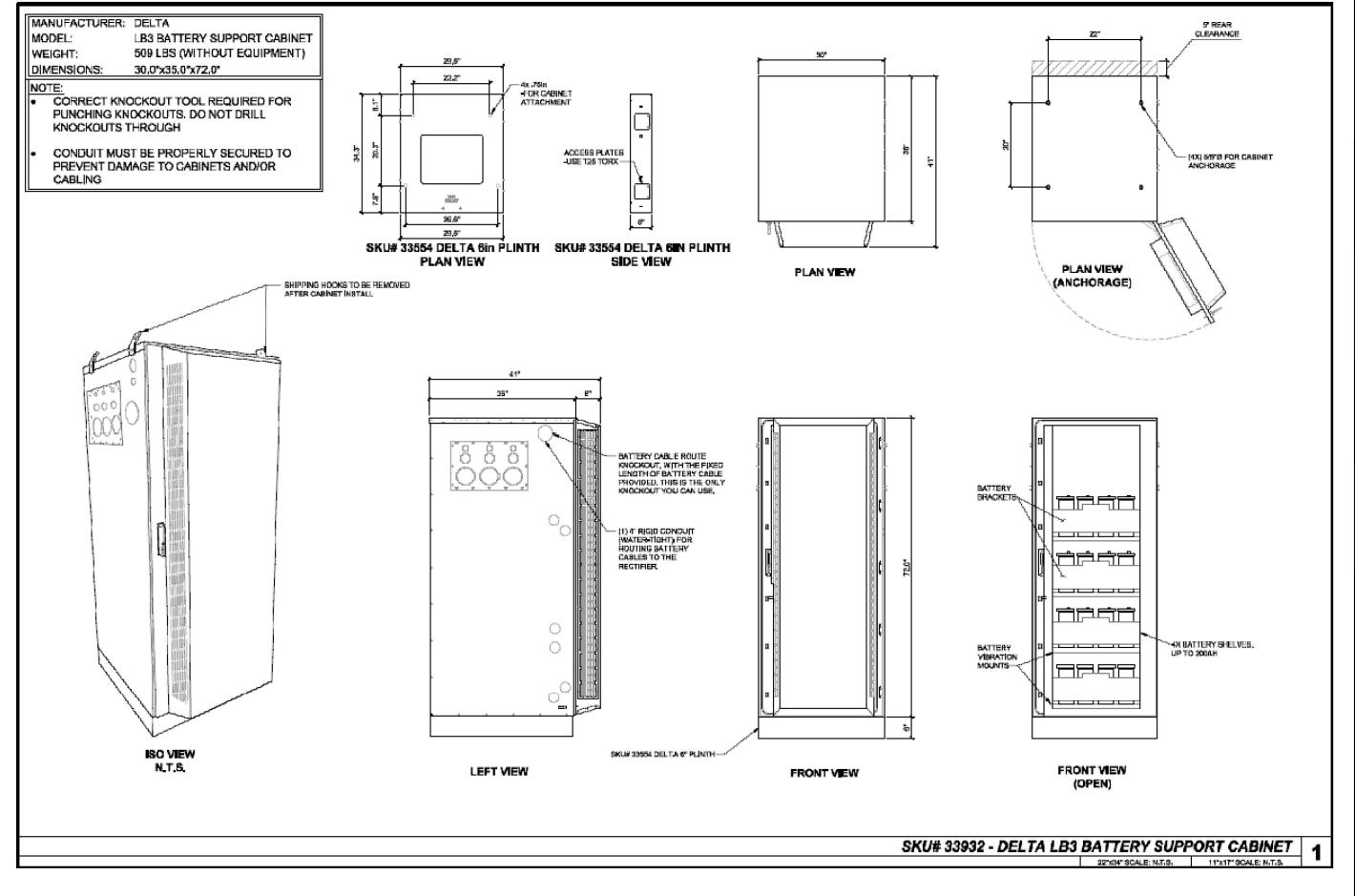
PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

EQUIPMENT SPEC SHEET

SHEET NUMBE





DUKE BRIDGES CAMPUS
7668 WARREN PARKWAY
FRISCO, TX 75034
OFFICE: (972) 464-3510



SUITE. 200 SAINT CHARLES, MO 63304 PHONE: 636-922-3400 600 E. JOHN CARPENTER FWY. STE 357 IRVING, TX 75062 PHONE: 972-717-7802

ACGI NO: 21-0860

DRAWN BY: DR/TS

CHECKED BY: SZ

		REVISIONS	
NO	DATE	DESCRIPTION	BY
Α	01/10/23	PRELIM CD	DR
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DA03931D

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE
EQUIPMENT
SPEC SHEET

SHEET NUMBE

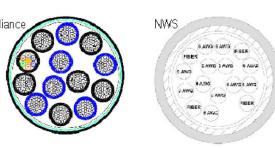
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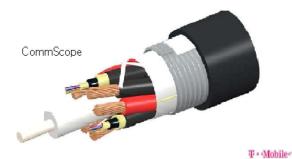
Trunk Cable General Specifications (6AWG)>250'

T-Mobile Internal

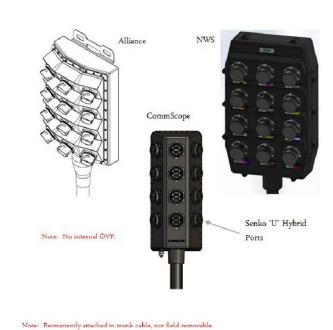
Characteristics	Alliance	CommScope	NWS
Outer Diam.	1.46"	1.55"	1.48"
Weight	1.61 lb/ft	1.71 lb/ft	1.61 lb/ft
Min. Bend Rad	14.6"	18.6"	21.5"
DC Conductors	12×6AWG	12x6AWG	12×6AWG
Armor	Corrugated Cu	Corrugated Al	Cu tape, PVC
Conductor Termination	None	None	None
Single-Mode Fibers	48	48	48
Fiber Termination	LC pair	LC pair	LC pair

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Characteristics	Alliance	CommScope	NWS
Dimensions, in.	9.3x14.9x5.8	6.7x16.9x4.7	10.2x16.0x3.2
Weight	1.61 lb/ft	0.970 lb/ft	1.61 <u>lb/ft</u>
Port Interface	Senko U	Senko U	Senko U
Hybrid Ports	12	12	12
Conductor Termination	None	None	None
Single Mode Fibers	48	48	48
Fiber Termination	LC pair	LC pair	LC pair
Max RRU	12	12	12



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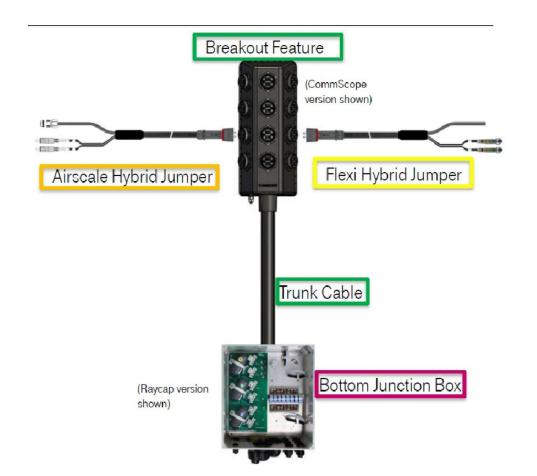


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PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY COLLIN COUNTY

> **EQUIPMENT** SPEC SHEET



Bottom Junction Box General Specifications

Characteristics	CommScope	Raycap
Dimensions	14"x16"x8"	14"x16"x8"
Weight	23.5 lb	21.9 lb
OVP, IEC 61643-1	24"	Class I SPD (3)
UL Rating		1449, 4 th Ed.
OVP Monitoring	Dry contact	Dry contact
Fiber Patch Panel	24 LC pairs	24 LC pairs
Environmental Rating	IP67	IP66
Operating Temperature	-40 °C to +75 °C	-40 °C to +80 °C

OVPs Fiber Patch Panel

T -- Mobile

Slide / 16

T-Mobile Internal

AirScale Dual RRH 4T4R B12/71 240W AHLOA



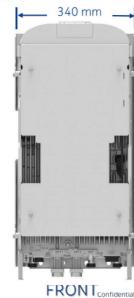
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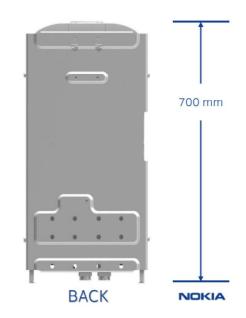
oduct Code: 474331A	
Supported Frequency bands	3GPP Band 12/71
Frequencies	Band 12 adjusted: UL 698 - 716 MHz, DL 728 - 746 MHz Band 71: UL 663 MHz - 698 MHz, DL 617 MHz - 652 MHz
Number of TX/RX paths/pipes	4 pipes; 2T2R, 2T4R, 4T4R for both bands
Instantaneous Bandwidth IBW	17 MHz for B12 and 35MHz for B71 1 MHz below B12 NB IoT future use
Occupied Bandwidth OBW	UL 53MHz contiguous DL B12 17MHz + 1 MHz NB IoT future use, B71 35MHz
Output Power	60W per TX shared between bands
Supply Voltage / Range	DC-48 V / -36 V to -60 V
Typical Power Consumption	64CW [ETSI Busy Hour Load at 4TX@60W
	45CW [ETSI Busy Hour Load at 4TX@20W
Antenna Ports	4 ports, 4.3-10+
Optical Ports	2 x CPRI 9.8 Gbps
ALD Control Interfaces	AISG3.0 and RET (DC on ANT1 & ANT3)
Other Interfaces	External Alarm MDR-26 (4 inputs, 1 Output) DC Circular Power Connector
Physical	560 mm x 308 mm x 189 mm Approximately 38kg with no covers or brackets
Operating Temperature Range	-40°C to 55°C (with no solar load)
Surge Protection	Class II 5A
Installation Options	Pole, Wall, Book Mount

Full Dimensions of AHFIG

Preliminary Values







FFVV-65C-R3-V1

8-port sector antenna, 4x 617-894 and 4x 1695-2690 MHz, 65° HPBW, 3x RET



General Specifications

Sector Multiband Light gray Effective Projective Area (EPA), frontal 0.99 m² | 10.656 ft² Effective Projective Area (EPA), lateral 0.33 m² | 3.552 ft²

RF connector inner conductor and body grounded to reflector and

mounting bracket

Outdoor usage Fiberglass, UV resistant Low loss circuit board

Aluminum 4.3-10 Female RF Connector Quantity, low band RF Connector Quantity, total Remote Electrical Tilt (RET) Information, General

8-pin DIN Female | 8-pin DIN Male RET Interface

RET Interface, quantity 1 female | 1 male

Dimensions

640 mm | 25.197 in 235 mm | 9.252 in

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COMMSC PE°

AEHC AirScale MAA 64T64R 192AE n41 240W

Preliminary Technical datasheet

Specification	3 GPP/FCC compliant, TDD
Frequency range	2496 - 2690 MHz
Max. supported modulation	256 QAM
Number of TX/RX paths	64T / 64R
MIMO streams	16
Instantaneous bandwidth IBW	194 MHz
Occupied bandwidth OBW	194 MHz
Total average EIRP	79.3 dBm
Max. output power per TRX	3.75 W / TRX (240 W total)
Antenna configuration	12 rows, 8 columns, 2 (±45° X-polarized)
Max. Antenna gain	25,5dBi
Horizontal beamwidth	15° (boresight)
Vertical beamwidth	6° (boresight)
Horizontal coverage angle	±45° (3 dB), ±60° (5 dB)
Vertical steering angle	±6°
Dimensions	TBD:900 mm (H) x 580 mm (W) x 210 mm (D)
Volume /Windward area	TBD:<110 L /<0.6m2
Weight	<45kg (without mounting brackets)
Supply voltage / Connector type	DC -40.5 V57 V / 2 pole connector
Power consumption	900 W typical (75% DL duty cycle, 30% RF load) 1300 W max (75% DL duty cycle, 100% RF load)



Optical ports	4 x SFP28, 10/25GE eCPRI (with R2CT)
Other interfaces / Connector type	Control AISG RF monitor port / SMA Female External Alarms / MDR26 status LED
Operational temperature range	-40 °C +55 °C
Cooling	Natural convection cooling
Ingress protection class	IP65
Installation options	Pole / Wall, ± 5° vertical adjustment
Surge protection	Class II 20 kA

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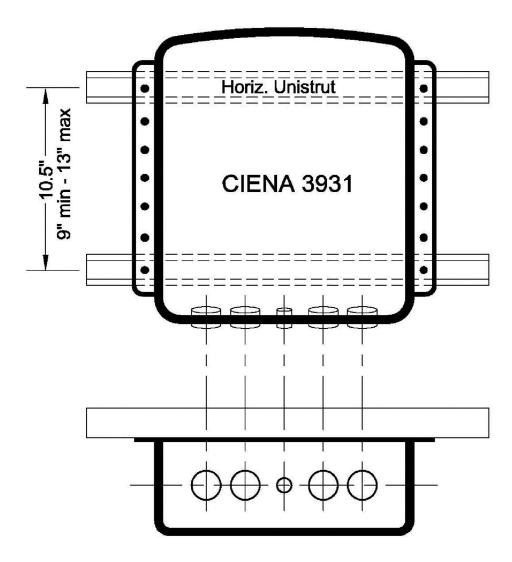
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PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY COLLIN COUNTY

> SHEET TITLE **EQUIPMENT** SPEC SHEET





Note: If horizontal Unistrut distance exceeds 13", the Ciena 3931 may be mounted on an H-Frame.

System Weight

Before you start, ensure that the mounting surface is capable of supporting the weight of the system. The weight of the various components of the 3931 is described in 39XX/51XX Product Fundamentals. Table 2-1 summarizes the weight of the mounting kits.

Table 2-1 Mounting System Weight Summary

Component	Weight (lbs)	Weight (kg)
H-Frame Mounting Kit	3.90	1.77
Pole Mount Kit	9.77	4.43
3931 (with all internal components)	28.5	12.96

Chassis Size

The size of the 3931 enclosure and attached mounting bracket are summarized in Table 2-2.

Table 2-2 3931 Dimension Summary

Dimension	Size (inches)	Size (cm)
Width	16.8	42.67
Height	17	43.18
Depth	7	17.78
Door clearance	17.5	44.45

Note: The chassis should be mounted a minimum of 2 feet 6 inches (76.2 cm) above grade.

Mounting Height Requirement

The unit should be installed so that the bottom of the 3931 is at least 2 feet 6 inches (76.2 cm) above grade.





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PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

EQUIPMENT SPEC SHEET

SHEET NUMBER



MOUNT ANALYSIS IS BY OTHERS NO NEW EQUIPMENT TO BE INSTALLED WITHOUT THE APPROVAL OF A STRUCTURAL

MC-RM1030-3



Universal Ring Mount, 10 in to 30 in OD

Product Classification

Product Type Universal ring mount

General Specifications

Mounting Monopole, 254-762 mm (10-30 in) OD

Pipe, quantity Sectors, quantity

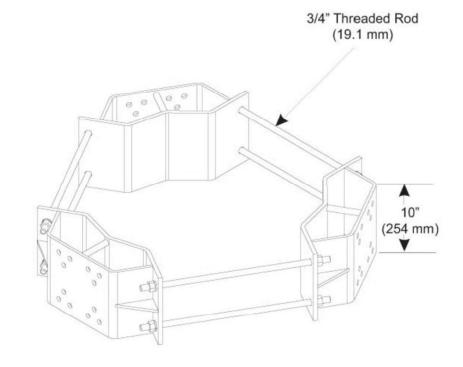
Dimensions

254 mm | 10 in Height 152.4 mm | 6 in Length Mounting Diameter, maximum 762 mm | 30 in Mounting Diameter, minimum 254 mm | 10 in **Pipe Outer Diameter** 0 mm | 0 in

Mounting Circumference, maximum 2,392.68 mm | 94.2 in **Mounting Circumference, minimum** 797.56 mm | 31.4 in

MC-RM1030-3

Outline Drawing



Material Specifications

Material Type Hot dip galvanized steel

Mechanical Specifications

Wind Rating 140 mph (BWS) at 150 ft AGL | 160 mph (3-second gust) at 150 ft AGL using Exposure D

per FBC

Wind Rating Criteria Four 72 in x 8 in panel antennas per sector

Wind Rating Test Method TIA/EIA-222

Packaging and Weights

Included Mount | Threaded rod

Packaging quantity

Weight, net 86.319 kg | 190.3 lb

Page 1 of 3

Page 2 of 3

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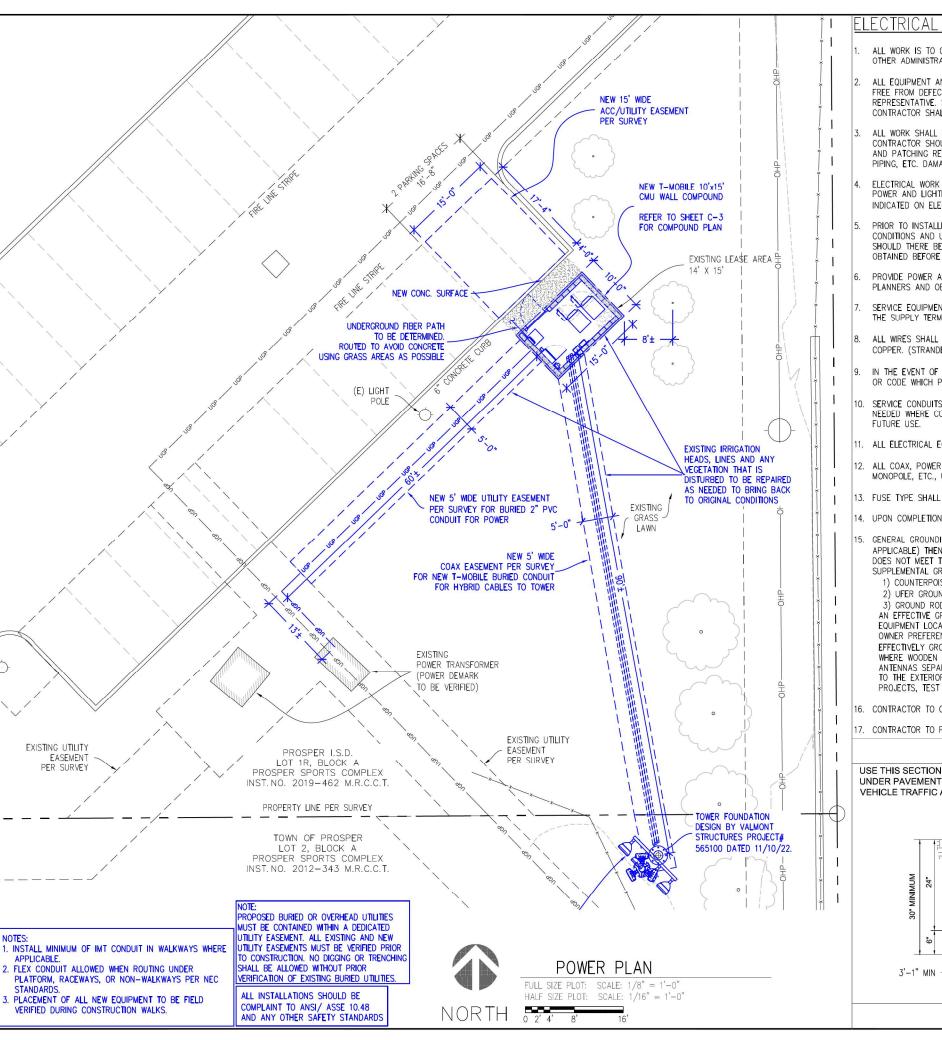
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1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

ANTENNA MOUNT **SPECIFICATION**

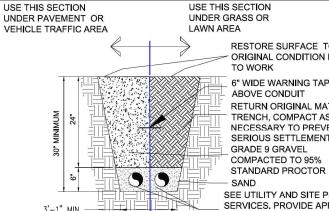




ELECTRICAL NOTES

- ALL WORK IS TO COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (N.E.C.) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
- ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE UNDERWRITERS LABORATORIES (U.L.) LISTED, NEW FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER
- ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. CONTRACTOR SHOULD AVOID DAMAGE TO EXISTING UTILITIES WHEREVER POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS, WIRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO MATCH EXISTING CONDITIONS.
- ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUIT, CONTROL WIRING, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS AND/OR AS REQUIRED BY GOVERNING CODES.
- PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB, AND BY REFERENCE TO ENGINEERING AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COSTS FOR SUCH IN THEIR BID.
- SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL ON THE UTILITY TRANSFORMER SECONDARY, THE INSULATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS
- ALL WRES SHALL BE STRANDED COPPER WITH THHN/THWN AND 600 VOLTS INSULATION. ALL GROUND CONDUCTORS TO BE PROPERLY SIZED COPPER. (STRANDED OR SOLID).
- IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL.
- SERVICE CONDUITS SHALL HAVE NO MORE THAN (2) -90° BENDS IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDITIONS. PULL WIRES AND CAPS SHALL BE PROVIDED AT ALL SPARE CONDUITS FOR
- ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITHSTAND 100 M.P.H. WIND SPEED AND DESIGNED FOR OUTDOOR EXPOSURE.
- ALL COAX, POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 24" SCH. 80 PVC RADIUS SWEEPS TO EQUIPMENT, PULLBOXES, MONOPOLE, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES
- 13. FUSE TYPE SHALL BE BUSSMAN RKI LOW PEAK FUSE (LPU-RK-100).
- 14. UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE OWNER
- CENERAL GROUNDING CRITERIA 1ST STEP: GROUND TO EXISTING BUILDING STRUCTURAL STEEL AND TO THE EXISTING COLD WATER LINE. (WHER APPLICABLE) THEN TEST GROUNDING RESISTANCE TO WITHIN 1 TO 5 OHMS OVERALL GROUND RESISTANCE. WHERE THE EFFECTIVE RESISTANCE DOES NOT MEET THIS CRITERIA, PROVIDE SUPPLEMENTAL GROUNDING AND RE-TEST UNTIL GROUND RESISTANCE FALLS BELOW THIS LEVEL. SUPPLEMENTAL GROUND MAY CONSIST OF ONE OR MORE OF THE FOLLOWING:
 - 1) COUNTERPOISE,
 - 2) UFER GROUND,
 - 3) GROUND ROD AND/OR GROUND WELL IN EXTREMELY ADVERSE SOIL CONDITIONS. WHERE THE EXISTING BUILDING STEEL DOES NOT PROVIDE AN EFFECTIVE GROUND RESISTANCE, THEN THE CONTRACTOR SHALL PROVIDE A SEPARATE GROUND CONDUCTOR FROM ROOF MOUNTED BTS EQUIPMENT LOCATIONS EITHER DOWN THROUGH THE INSIDE OF THE BUILDING OR DOWN THE OUTSIDE OF THE BUILDING, DEPENDING UPON OWNER PREFERENCE. WHERE THE GROUND CONDUCTOR FROM THE ROOF MOUNTED EQUIPMENT IS ROUTED IN CONDUIT, THE CONDUIT SHALL BE EFFECTIVELY GROUNDED TO THE GROUND CONDUCTOR AT BOTH ENDS OF THE CONDUIT. (MONOPOLE INSTALLATIONS): FOR INSTALLATIONS WHERE WOODEN STRUCTURES, TOWERS, CONCRETE SILOS ETC. ARE ENCOUNTERED A SEPARATE DOWNLEAD SHALL BE PROVIDED FROM THE 3 ANTENNAS SEPARATED BY A MINIMUM OF 12 INCHES FROM THE COAXIAL CABLES. THE GROUND CONDUCTOR SHALL BE SECURELY FASTENED TO THE EXTERIOR OF OUTSIDE STRUCTURES WITH NONMETALLIC GROUND STRAPS EVERY 10 FEET. AGAIN, AS FOR TENANT IMPROVEMENT PROJECTS, TEST THE GROUND RESISTANCE FOR MONOPOLE INSTALLATIONS AND PROCEED PER THE ABOVE STEPS.
- 16. CONTRACTOR TO COLOR PHASE CONDUCTORS BLACK (B PHASE), RED (A PHASE), WHITE (NEUTRAL), AND GREEN (GROUND).
- 17. CONTRACTOR TO PROVIDE GUTTER TAP.





RESTORE SURFACE TO ORIGINAL CONDITION PRIOR

> 6" WIDE WARNING TAPE AT 10" RETURN ORIGINAL MATERIAL TO TRENCH, COMPACT AS NECESSARY TO PREVENT SERIOUS SETTLEMENT

SEE UTILITY AND SITE PLANS FOR NEW ELECTRICAL AND TELEPHONE SERVICES. PROVIDE APPROVED PULL BOXES AS REQUIRED AND COORDINATE INSTALLATION WITH ALL UTILITY COMPANIES FOR INTERFACING AT TERMINATION POINTS. PROVIDE FULL LENGTH MULE TAPE (TYP)

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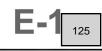
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PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE

POWER PLAN



BURIED CONDUIT DETAILS

- 1. ALL WORK IS 10 COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (N.E.C.) AND ANY LOCAL ORDINANCES, CODES, AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING SURFICION. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
- 2. ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE UNDERWRITERS LABORATORIES (U.L.) LISTED, NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER
- 3. ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. CONTRACTOR SHOULD AVOID DAMAGE TO EXISTING UTILITIES WHEREVER POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING. SPRINKLER SYSTEMS. CONDUITS. WRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO MATCH EXISTING CONDITIONS.
- 4. ELECTRICAL WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUIT, CONTROL WIRING, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS AND/OR AS REQUIRED BY GOVERNING CODES.
- 5. PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB, AND BY REFERENCE TO ENGINEERING AND EQUIPMENT SUPPLIERS DRAWINGS. SHOULD THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- 6. PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COSTS FOR SUCH IN THEIR BID.
- 7. SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL ON THE UTILITY TRANSFORMER SECONDARY, THE INSULATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
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- 9. IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL.
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- 11. ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED TO WITHSTAND 100 M.P.H. WIND SPEED AND DESIGNED FOR OUTDOOR EXPOSURE.
- 12. ALL COAX, POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 24" SCH. 80 PVC RADIUS SWEEPS TO EQUIPMENT, PULLBOXES, MONOPOLE, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.
- 13. FUSE TYPE SHALL BE BUSSMAN RKI LOW PEAK FUSE (LPU-RK-100).
- 14. UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE OWNER
- 15. GENERAL GROUNDING CRITERIA 1ST STEP: GROUND TO EXISTING BUILDING STRUCTURAL STEEL AND TO THE EXISTING COLD WATER LINE. (WHERE APPLICABLE) THEN TEST GROUNDING RESISTANCE TO WITHIN 1 TO 5 OHMS OVERALL GROUND RESISTANCE. WHERE THE EFFECTIVE RESISTANCE DOES NOT MEET THIS CRITERIA, PROVIDE SUPPLEMENTAL GROUNDING AND RE—TEST UNTIL GROUND RESISTANCE FALLS BELOW THIS LEVEL. SUPPLEMENTAL GROUND MAY CONSIST OF ONE OR MORE OF THE FOLLOWING:
 - 1) COUNTERPOISE.
 - 2) UFER GROUND.
 - 3) GROUND ROD AND/OR GROUND WELL IN EXTREMELY ADVERSE SOIL CONDITIONS. WHERE THE EXISTING BUILDING STEEL DOES NOT PROVIDE AN EFFECTIVE GROUND RESISTANCE, THEN THE CONTRACTOR SHALL PROVIDE A SEPARATE GROUND CONDUCTOR FROM ROOF MOUNTED BTS EQUIPMENT LOCATIONS EITHER DOWN THROUGH THE INSIDE OF THE BUILDING OR DOWN THE OUTSIDE OF THE BUILDING, DEPENDING UPON OWNER PREFERENCE. WHERE THE GROUND CONDUCTOR FROM THE ROOF MOUNTED EQUIPMENT IS ROUTED IN CONDUIT, THE CONDUIT SHALL BE EFFECTIVELY GROUNDED TO THE GROUND CONDUCTOR AT BOTH ENDS OF THE CONDUIT. (MONOPOLE INSTALLATIONS): FOR INSTALLATIONS WHERE WOODEN STRUCTURES, TOWERS, CONCRETE SILOS ETC. ARE ENCOUNTERED A SEPARATE DOWNLEAD SHALL BE PROVIDED FROM THE 3 ANTENNAS SEPARATED BY A MINIMUM OF 12 INCHES FROM THE COAXIAL CABLES. THE GROUND CONDUCTOR SHALL BE SECURELY FASTENED TO THE EXTERIOR OF OUTSIDE STRUCTURES WITH NONMETALLIC GROUND STRAPS EVERY 10 FEET. AGAIN, AS FOR TENANT IMPROVEMENT PROJECTS, TEST THE GROUND RESISTANCE FOR MONOPOLE INSTALLATIONS AND PROCEED PER THE ABOVE STEPS.
- 16. CONTRACTOR TO COLOR PHASE CONDUCTORS BLACK (B PHASE), RED (A PHASE), WHITE (NEUTRAL), AND GREEN (GROUND).
- 17. CONTRACTOR TO PROVIDE GUTTER TAP.

NOTES:

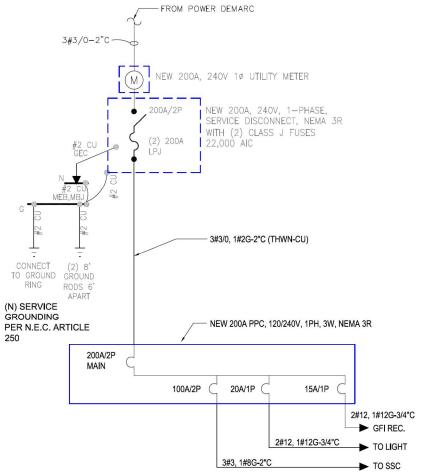
- 1. ALL DC POWER CONDUCTORS MUST MEET LDO RATING.
- 2. CONDUCTORS USED MUST BE SIZED APPROPRIATELY FOR BREAKERS TO BE INSTALLED.

ELECTRIC LOAD SUMMARY

AREA OF SPACE (164) SF

SERVICE VOLTAGE 120/240 V 1Ø

	CONNECT	TED LOAD	DEMAND FACTOR	DEMAND	LOAD
	KVA	AMPS	FACTOR	KVA	AMPS
LIGHTING (175W HPS)	0.57	2.38	1.0	0.57	2.38
RECEPTACLES (1)	1.06	4.42	1.0	1.06	4.42
SITE SUPPORT CABINET	9.0	37.6	1.0	9.0	37.6
TELCO PANEL	0.12	1.0	1.0	0.12	1.0
DEMAND LOAD				19.75	45.4
LIGHTING x 0.25				0.14	0.6
TOTAL LOAD					46.0
TOTAL SERVICE CAP.					200



BOND NEUTRAL & GROUND BUS IN MAIN SERVICE DISCONNECT





SUITE, 200
SAINT CHARLES, MO 63304
PHONE: 636-922-344
600 E. JOHN
CARPENTER FWY.
STE 357
IRVING, TX 75062
PHONE: 972-717-784

ACGI NO: 21-0860

DRAWN BY: DR/TS

CHECKED BY: SZ

		REVISIONS	
NO	DATE	DESCRIPTION	BY
		PRELIM CD	DR
0	01/24/23	FINAL CD	TS



9221 LYNDON B JOHNSON FWY SUITE 204, DALLAS, TX 75243 PHONE: 972-231-8893 FAX: 866-364-8375 WWW.ALLPROCGI.COM FIRM NO. F-8242



DA03931D

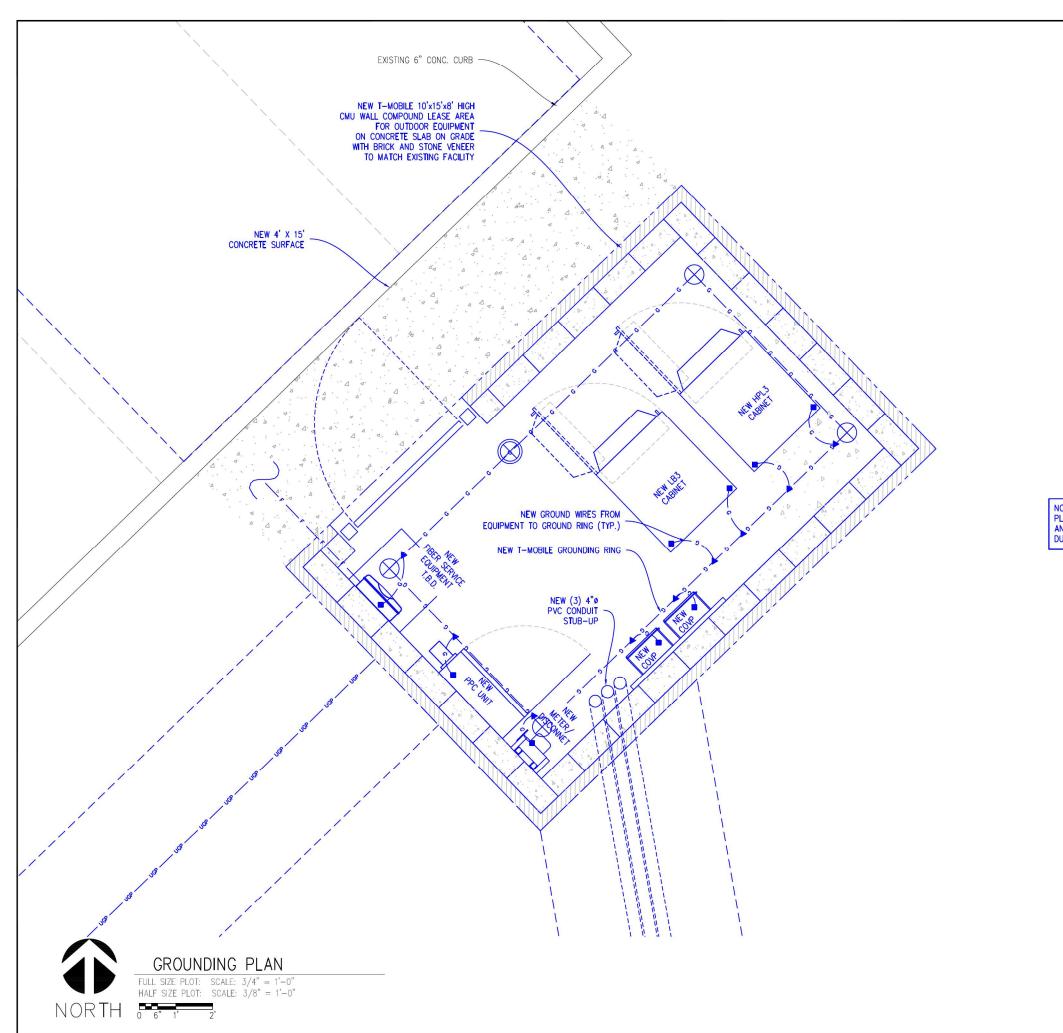
PISD SPORT COMPLEX
(STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE
ELECTRICAL
ONE—LINE DIAGRAM

SHEET NUMBER





GROUNDING PLAN LEGEND:

GROUND WIRE

─ ─ ─ ─ GROUND WIREEXOTHERMIC WELD

 \otimes

COPPER GROUND ROD



TEST WELL

CAD WELD CONNECTIONS

NO.	DESCRIPTION	MOLD NO.	WELD NO.
1	#2 SOLID TO #2 SOLID	PTC-1T1T	65
2	#2 SOLID TO GROUND ROD	GTC-161T	90
3	#2 SOLID TO FENCE POST	VBC	

BURNDY CONNECTIONS

NO.	DESCRIPTION	PART NO.
4	#6 GREEN STRANDED 2-HOLE COMPRESSION LUG	
5	#2 SOLID TO POST	KC
6	BRAIDED STRAP BOLTED TO GATE POSTS	BD18G92

* CHECK WITH PROJECT MANAGER FOR CONNECTION TYPE IF TABS ARE NOT PRESENT ON MONOPOLE OR TOWER.

MECHANICAL CONNECTION

NOTE:
PLACEMENT OF ALL NEW EQUIPMENT
AND GROUNDING TO BE FIELD VERIFIED
DURING CONSTRUCTION WALKS





21-0860

DR/TS

ACGI NO:

DRAWN BY:

CHECKED BY: SZ



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DA03931D

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

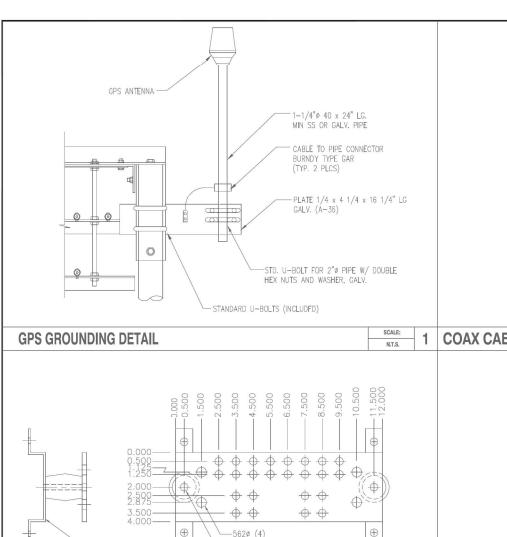
1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE

GROUNDING PLAN

SHEET NUMBER





-437ø (26)

CABLE

MANUFACTURER: HARGER

BRACKET

TO ANTENNAS

CABLE

TO GROUND RING -

12" GROUND BAR

DO NOT INSTALL CABLE

AND ALWAYS DIRECT

GROUND KIT AT A BEND

GROUND WIRE DOWN TO

ANTENNA GROUND BAR.

WEATHER PROOFING SHALL BE TWO-PART TAPE KIT.

COLD SHRINK SHALL NOT

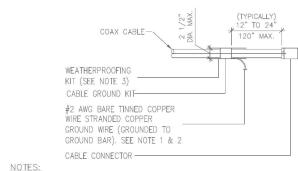
KIT (TYP) SEE NOTES

ANTENNA CABLE TO RBS

EQUIPMENT (TYP)

CONNECTOR WEATHERPROOFING

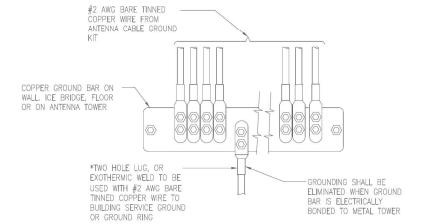
BE USED.



DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.

- GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
- WEATHER PROOFING SHALL BE TWO-PART TAPE KIT, COLD SHRINK SHALL NOT BE

SCALE: 4 COAX CABLE GROUND KIT DETAIL N.T.S.

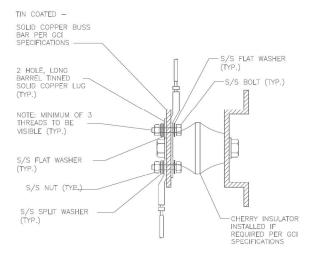


GROUND WIRE INSTALLATION

3/8"ø x 1 1/2" 1/8" MIN. S/S NUT 1/4" MIN. MIN. BELLEVILLE -HEAT WASHER S/S FLAT WASHER COPPER GROUND BAR S/S FLAT WASHER S/S BOLT (1 OF 2) -"DO NOT DISCONNECT"
TAG ON ALL GROUND BAR
INTERCONNECTS AND NOTES: 1. ALL HARDWARE 18-R STAINLESS STEFL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.

- 2. ALL HARDWARE SHALL BE S/S 3/8 INCH DIAMETER OR LARGER.
- FOR GROUND BOND TO STEEL ONLY: INSERT A DRAGON TOOTH WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.

THE DETAILS ON THIS SHEET APPLY ONLY AS CALLED OUT ON SITE PLANS OR SITE SPECIFIC DRAWINGS.



- 1) ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING SPLIT
- 3) COAT WIRE END WITH ANTI-OXIDATION COMPOUND PRIOR TO INSERTION INTO LUG BARREL AND CRIMPING. APPLY ANTI-OXIDATION COMPOUND BETWEEN ALL LUGS AND

BUSS BARS PRIOR TO MATING AND BOLTING.

(FRONT AND BACK ATTACHMENT)

GROUNDING - GENERAL LUG DETAIL

N.T.S.

ACGI NO:

DRAWN BY:

CHECKED BY:

DUKE BRIDGES CAMPUS 7668 WARREN PARKWAY FRISCO, TX 75034 0FFICE: (972) 464-3510

SUITE 200

SAINT CHARLES, MO 63304

600 E. JOHN

21-0860

DR/TS

DESCRIPTION

REVISIONS

A 01/10/23 PRELIM CD

0 01/24/23 FINAL CD

PHONE: 636-922-34

IRVING, TX 75062

PHONE: 972-717-78

9221 LYNDON B JOHNSON FWY SUITE 204, DALLAS, TX 75243 PHONE: 972-231-8893 FAX: 866-364-8375 WWW.ALLPROCGI.COM FIRM NO. F-8242



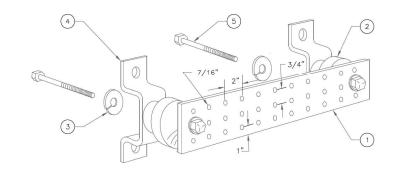
DA03931D

PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE GROUNDING DETAILS

128



LEGEND

1— TINNED, SOLID COPPER GROUND BAR, SIZED TO ACCOMODATE ALL GROUNDING CONNECTIONS REQUIRED PLUS PROVIDE 50% SPARE CAPACITY. PROPOSEDION INSTRUMENT CO. OR APPROVED EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION.

2- INSULATORS, PROPOSEDTON INSTRUMENT CO. CAT. NO. 3061-4 OR APPROVED

EQUAL.
3— LOCKWASHERS, PROPOSEDTON INSTRUMENT CO. OR APPROVED EQUAL.
4— SUPPORT BRACKET. TYPE DEPENDENT ON SITE CONDITION. PROPOSEDTON INSTRUMENT CO. OR APPROVED EQUAL.
5— H.H.C.S. BOLTS, PROPOSEDTON INSTRUMENT CO. OR APPROVED EQUAL.
6— APPLY COPPER NO—OX TO EXPOSED AREA OF GROUND BAR.

3 TWO HOLE MECHANICAL LUG CONNECTION ANTENNA GROUNDING KIT

SCALE:

N.T.S.

WATERPROOFING KIT

GROUND KIT (TYP)

WIRE COPPER ANTENNA

TO GROUND RING

TINNED COPPER

GROUND BAR, WITHOUT INSULATORS. BONDED

DIRECTLY TO TOWER

SCALE:

N.T.S.

6 GROUND BAR

SCALE:

GENERAL NOTES

- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE (EDITION ACCEPTED BY LOCAL JURISDICTION) AND APPLICABLE LOCAL CODES.
- 2. GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE
- 3. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED.
- 4. WIRES AND CABLES FOR POWER AND LIGHTING SHALL BE COPPER WITH TYPE XHHW,THWN, OR THHN INSULATION. SOLID CONDUCTORS FOR #10 AWG AND SMALLER, STRANDED FOR LARGER THAN #10 AWG. MINIMUM SIZE #12 AWG.
- 5. WIRES AND CABLES FOR POWER SHALL BE INSTALLED IN GALVANIZED RIGID STEEL CONDUIT OR FLEXIBLE LIQUID TIGHT CONDUIT AS INDICATED ON DRAWING.
- 6. CONTRACTOR TO OBTAIN ALL PERMITS, PAY PERMIT FEES, AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
- 7. CONTRACTOR TO OBTAIN LOCAL POWER AND TELEPHONE COMPANY APPROVAL AND COORDINATE WITH UTILITY COMPANIES SERVICE ENTRANCE REQUIREMENTS.
- 8. PROVIDE ALL LABOR AND MATERIAL DESCRIBED ON THIS DRAWING, AND ALL ITEMS INCIDENTAL TO COMPLETING AND PRESENTING THIS PROJECT AS FULLY OPERATIONAL.
- 9. GROUNDING CONNECTIONS SHALL BE MECHANICAL TYPE ("BURNDY" OR "COMPRESSION") FITTINGS FOR ALL CONNECTIONS.
- 10. GROUND COAXIAL CABLE SHIELDS AT BOTH ENDS WITH COAX CABLE GROUNDING KITS & INSTALL WEATHER PROOFING KIT AT EACH CONNECTION
- 11. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE, ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY.
- 12. CONTRACTOR TO PROVIDE GROUND RING AS SHOWN ON GROUNDING SITE PLAN AND GROUNDING RISER DIAGRAM. CONTRACTOR SHALL TEST AND VERIFY THAT THE IMPEDANCE DOES NOT EXCEED 5 OHMS TO GROUND BY MEANS OF A BIDDLE—MEGGER TESTER. GROUNDING AND OTHER OPERATIONAL TESTING SHALL SHALL BE WITNESSED BY THE OWNER'S REPRESENTATIVE
- 13. CONTRACTOR TO PROVIDE TELEPHONE CONDUIT AS SHOWN ON PLANS
- 14. CONTRACTOR TO PROVIDE ELECTRIC CONDUIT AS SHOWN ON PLANS
- 15. NOTIFY LOCAL UTILITY SERVICE PRIOR TO ANY INSTALLATION.
- 16. ALL EQUIPMENT FURNISHED BY OTHERS SHALL BE PROVIDED WITH PROPER MOTOR STARTERS, DISCONNECTS, CONTROLS, ETC. BY THE ELECTRICAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE. THE ELECTRICAL CONTRACTOR SHALL INSTALL AND COMPLETELY WIFE ALL ASSOCIATED EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WIRE DIAGRAMS AND AS REQUIRED FOR A COMPLETE OPERATING INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF EQUIPMENT PRIOR TO ROUGH—IN OF CONDUIT AND WIRING TO AVOID CONFLICTS. WHERE APPLICABLE
- 17. GROUNDING CONDUCTORS SHALL BE COPPER ONLY. ABOVE GROUND EITHER SOLID OR STRANDED CONDUCTORS ARE PERMITTED. IGR AND ALL EXTERNAL CONDUCTORS (WITH THE EXCEPTION FOR GROUND WIRE BETWEEN THE TOP AND THE BOTTOM OF THE ANTENNA TOWER) MUST BE BARE. EQUIPMENT GROUND LEADS IN CABLE TRAYS MUST BE GREEN
- 18. UTILITY COMPANY COORDINATION: ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING HIS BID, THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN HIS BID

CONDUITS AND WIRING

1.WIRING OF EVERY KIND MUST BE INSTALLED IN CONDUIT, UNLESS NOTED OTHERWISE, OR

2.UNLESS OTHERWISE SPECIFIED, ALL WIRING SHALL BE COPPER (CU) TYPE THWN, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE

3.RACEWAYS SHALL BE GALVANIZED STEEL, SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, UNLESS OTHERWISE NOTED. ALL RACEWAYS SHALL BE APPROVED FOR THE

4.PULL OR JUNCTION BOXES SHALL BE PROVIDED AS REQUIRED TO FACILITATE INSTALLATION OF

5.PROVIDE A COMPLETE RACEWAY AND WIRING INSTALLATION, PERMANENTLY AND EFFECTIVELY GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES

COORDINATION WITH UTILITY COMPANY

THE ELECTRICAL CONTRACTOR SHALL COORDINATE COMPLETE ELECTRICAL SERVICE WITH LOCAL UTILITY COMPANY FOR COMPLETE OPERATIONS SYSTEM, INCLUDING TRANSFORMER CONNECTIONS, CONCRETE TRANSFORMER PADS, IF REQUIRED, METER SOCKETS, PRIMARY CABLE RACEWAY REQUIREMENTS, SECONDARY SERVICE, ETC. PRIOR TO SUBMITTING BID TO INCLUDE ALL LABOR AND MATERIALS.

LEGEND

	SAFETY DISCONNECT SWITCH, SIZED AS NOTED	A	AMPERE
	PANELBOARD	V	VOLT
	Wante Bara Jeres	W	WIRE
(M)	KILOWATT HOUR METER	C	CONDUIT
T	TRANSFORMER	G	GROUND
_		P	POLE
	CIRCUIT BREAKER	SPGB	SURGE PROTECTOR GROUND BAR
Q	LIGHTING FIXTURE, SIZE		(1/4"x2"x24")
	AS NOTED	CGB	COLLECTOR GROUND BAR (1/4"x4"x12")
0000	COPPER GROUND BAR, SIZED AS NOTED	EGB	EXTERNAL GROUND BAR (1/4"x8"x24")
—Е —	POWER WIRING, SIZED AS NOTED	MGB	MASTER GROUND BAR (1/4"x8"x24")
<u> </u>	TELCO WIRING, SIZED AS NOTED	IGR	INTERNAL GROUND RING ("HALO" GROUND)
— G —	GROUND WIRING, SIZED AS NOTED	EGR	EXTERNAL GROUND RING
	NOTED	ACU	AIR CONDITIONER UNIT
		HWGC	HEAVY WALLED GALVANIZED
		HWGC	CONDUIT



DUKE BRIDGES CAMPUS 7668 WARREN PARKWAY FRISCO, TX 75034 0FFICE: (972) 464-3510

SUITE 200

ACGI NO: 21-0860

DRAWN BY: DR/TS

CHECKED BY:

NO	DATE	DESCRIPTION	BY
		PRELIM CD	DR
0	01/24/23	FINAL CD	TS



SUITE 204, DALLAS, TX 75243 PHONE: 972-231-8893 FAX: 866-364-8375 WWW ALL PROCGLOOM



SCALE:

N.T.S.

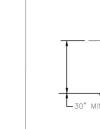
DA03931D PISD SPORT COMPLEX (STADIUM AND NATATORIUM)

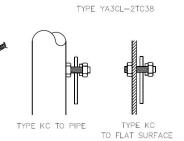
1240 W FRONTIER PKWY PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE GROUNDING DETAIL

SHEET NUMBER

129



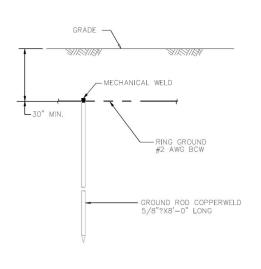


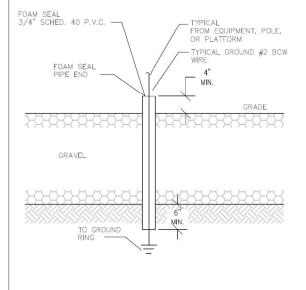
TYPE GAR-TC

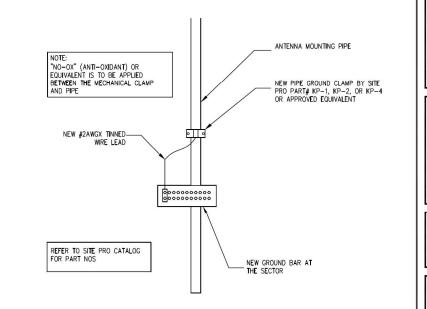
TYPE YGIBS

TYPE BD18G92

BURNDY DETAILS







2 GROUND WIRE SLEEVE

NOT USED

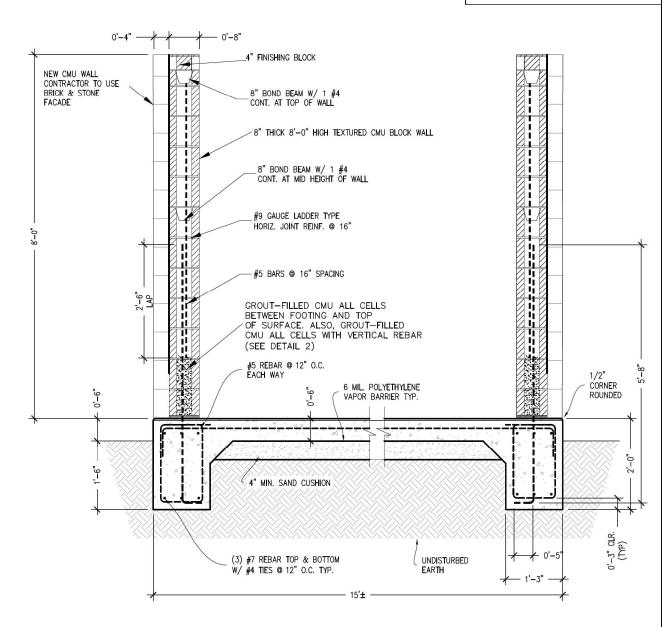
GROUND ROD

ANTENNA PIPE GROUNDING

SCALE: N.T.S.

NOTES:

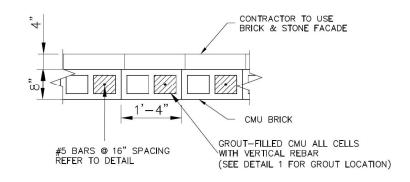
- 1. EXISTING CONDITIONS WILL BE CHECKED AND VERIFIED IN FIELD BY THE CONTRACTOR PRIOR TO FABRICATION AND INSTALLATION. IF SIGNIFICANT DEVIATIONS OR DETERIORATION ARE ENCOUNTERED AT THE TIME OF CONSTRUCTION, A REPAIR PERMIT WILL BE OBTAINED AND CONTRACTOR SHALL NOTIFY STRUCTURAL ENGINEER IMMEDIATELY.
- 2. "ALLPRO CONSULTING GROUP, INC."
 WAS NOT PROVIDED WITH A
 GEOTECHNICAL REPORT. FOUNDATIONS
 ARE DESIGNED FOR A MINIMUM NET
 ALLOWABLE BEARING CAPACITY OF
 1500 PSF. IT IS RECOMMENDED THAT
 A GEOTECHNICAL INVESTIGATION BE
 COMPLETED PRIOR TO CONSTRUCTION.
- 3. DO NOT SCALE DRAWINGS.



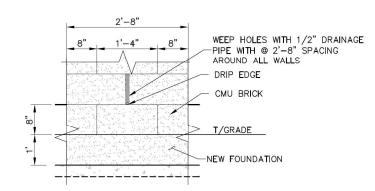
CMU WALL SECTION ON EXISTING FOOTAGE SIDE

SCALE: 1/2"=1'-0"

1. ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH ANSI/ ASSE 10.48 AND ANY OTHER SAFETY STANDARDS.



REBAR W/ GROUT SPACING SCALE: 1/2"=1'-0"







ACGI NO: 22-4294

DRAWN BY: SP

CHECKED BY: SZ

0 12/19/22 CMU WALL DESIGN





SITE ID: DA0931D SITE NAME: PISD SPORT COMPLEX

1240 FRONTIER PKWY PARK RD, PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE

CMU WALL DETAIL

SHEET NUMBER

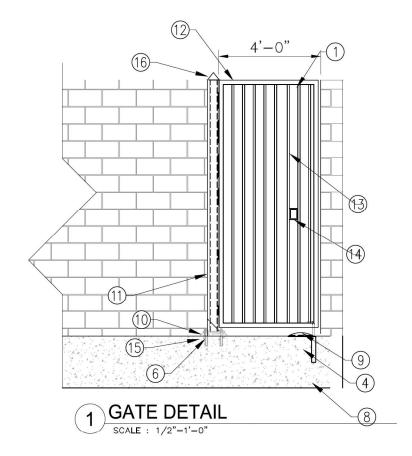
S-2

130

NOTES:

- 1. EXISTING CONDITIONS WILL BE CHECKED AND VERIFIED IN FIELD BY THE CONTRACTOR PRIOR TO FABRICATION AND INSTALLATION. IF SIGNIFICANT DEVIATIONS OR DETERIORATION ARE ENCOUNTERED AT THE TIME OF CONSTRUCTION, A REPAIR PERMIT WILL BE OBTAINED AND CONTRACTOR SHALL NOTIFY STRUCTURAL ENGINEER IMMEDIATELY.
- 2. "ALLPRO CONSULTING GROUP, INC." WAS NOT PROVIDED WITH A GEOTECHNICAL REPORT. FOUNDATIONS ARE DESIGNED FOR A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 1500 PSF. IT IS RECOMMENDED THAT A GEOTECHNICAL INVESTIGATION BE COMPLETED PRIOR TO CONSTRUCTION.
- 3. DO NOT SCALE DRAWINGS.

- 1. ALL INSTALLATIONS SHALL BE IN COMPLIANCE WITH ANSI/ ASSE. 10.48 AND ANY OTHER SAFETY STANDARDS.
- 2 GENERAL CONTRACTOR TO VERIFY WITH GENERATOR MANUFACTURER FOR FIT PRIOR TO POURING CONCRETE AND INSTALLATION.
- 3. GENERATOR DESIGN AND DRAWINGS BY OTHERS

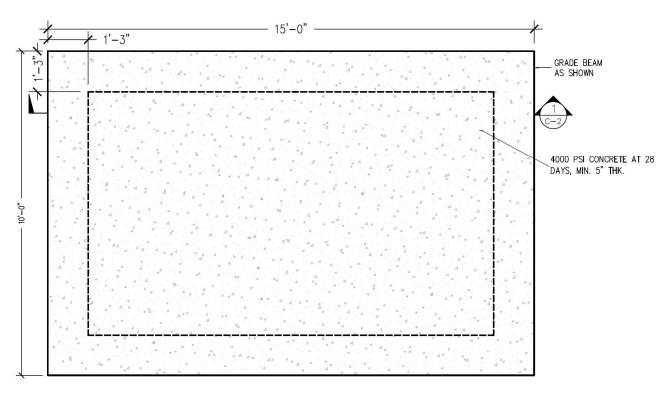


REFERENCE NOTES:

- 1. MANUFACTURER TO PROVIDE RUST INHIBITIVE PAINT OR GALVANIZATION
- 2. EXISTING SITE MATERIAL.
- 3. WELD ON HEAVY DUTY HINGE (4) PER LENGTH OF TUBE WITH FINISH TO MATCH FRAME.
- 4. (1) GATE STOP
- 5. HSS4x4x3/8 FINISH TO MATCH GATE FRAME. WELDED TO BASEPLATE W/ 3/16" WELD ALL AROUND.
- 6. 3/4" BASEPLATE W/ (4) 3/4" DIAMETER BOLTS EMBEDDED 4 1/2" INTO FOUNDATION W/ HILTI HY200 ADHESIVE ANCHOR. 1 1/2" 5000 PSI NON SHRINK GROUT BELOW.
- 7. 1/2" CAP PLATE. WELD TO TOP OF POST W/ 3/16" WELD ALL AROUND.
- 8. GATE STOP SUPPORT 12" DIAMETER BY 2'-0" DEEP 3000 PSI CONCRETE W/ MUSHROOM GATE STOP EMBEDDED ON TOP OF CONCRETE.
- 9. REMOVABLE 1/2" DIAMETER BENT BAR WITH CASING EMBEDDED IN GATE STOP CONCRETE.
- 10. BASE BLOCK TRIMMED AROUND BASE AND GROUTED FROM TOP W/ 5000 PSI NON SHRINK GROUT OVER BASEPLATE.
- 11. LAST TWO CELLS FULLY GROUTED. ONE CELL AWAY FROM END TO BE FULLY GROUTED W/ (2) #5 BARS.
- 12. 2 SQ. IN. STEEL FRAME ALL AROUND.
- 13. 1 SQ. IN. STEEL PICKETS @ 4" O.C.
- 14. KNOX BOX
- 15. 13" TALL BY 12" CONCRETE VERTICAL EXTENSION FROM FOOTING FOR STEEL GATE BASE PLATE ANCHOR

FOUNDATION NOTES:

- 1. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4000—PSI AT 28—DAY CURE, AND SHALL MEET SPECIFICATION FOR READY—MIXED CONCRETE (ASTM C94—96). CONCRETE SHALL BE PLACED AND CURED AS PER ACI—318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- 2. CONCRETE SLUMP SHALL RANGE BETWEEN 4 INCHES TO 6 INCHES.
- 3. ALL CONCRETE WORK SHALL CONFORM TO ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 4. THE SURFACE, OVER WHICH THE CONCRETE WILL BE POURED, SHALL BE CLEAN OF LOOSE MATERIAL AND LEVELED PRIOR TO CONCRETE PLACEMENT.
- 5. CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS AND OTHER OCCURRENCES THAT MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
- 6. MECHANICALLY VIBRATE CONCRETE, PARTICULARLY WHEN POURED IN DIFFERENT LIFTS, TO ENSURE CONSOLIDATION AND TO AVOID JOINTS.
- 7. ALL REINFORCING STEEL BARS SHALL BE DOMESTIC, NEW BILLET STEEL, ASTM A-615, GRADE 60. REINFORCING SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI 315—LATEST EDITION "MANUAL OF STANDARD FOR DETAILING REINFORCED CONCRETE".
- 8. ALL LOAD BEARING FOOTING SHALL BEAR ON TOP OF COMPACTED SOIL
- 9. WELDING OF REINFORCING BARS AND DOWEL BARS IS PROHIBITED UNLESS OTHERWISE APPROVED BY ENGINEER.
- 10. PRIOR TO THE EXCAVATION, CHECK AREA FOR LOCATION OF UNDERGROUND PIPES, CABLES, ETC.
- 11. ALLOWABLE SOIL BEARING PRESSURE SHALL BE 1500 PSF MINIMUM. IF DIFFERENT, PLEASE NOTIFY ALLPRO CONSULTING GROUP, INC FOR A REDESIGN.
- 12. SOIL DATA AS PER PRESUMPTIVE SOIL PARAMETERS FROM IBC 2015 CODE, TABLE 1806.2.



CONCRETE FOUNDATION PLAN VIEW

SCALE : 1/2"=1'-0"

- T - Mobile

DUKE BRIDGES CAMPUS
7668 WARREN PARKWAY
FRISCO, TX 75034
OFFICE: (972) 464-3510

ACGI NO: 22-4294

DRAWN BY: SP

CHECKED BY: SZ

12/19/22 CMU WALL DESIGN





SITE ID: DA0931D SITE NAME: PISD SPORT COMPLEX

1240 FRONTIER PKWY PARK RD, PROSPER, TX 75078 COLLIN COUNTY

SHEET TITLE

PAD DETAILS

SHEET NUMBER

S-3

13

MASONRY

- 1. MASONRY STRENGTH
- A. HOLLOW CONCRETE MASONRY UNITS: GRADE N. LIGHTWEIGHT WITH A COMPRESSIVE STRENGTH OF F = 1500PSI ON THE NET AREA.
- B. GROUT: 2000 PSI, MINIMUM 28 DAY COMPRESSIVE STRENGTH. VIBRATE GROUT IMMEDIATELY AFTER POURING AND AGAIN AFTER 5 MINUTES. GROUT SHALL CONFORM TO TO ASTM C476 AND UBC 2103. MIX GROUT FOR AT LEAST FIVE MINUTES AND UNTIL MIX HAS BEEN ATTAINED. GROUT SHALL HAVE SUFFICIENT WATER ADDED TO PRODUCE A CONSISTENCY FOR POURING WITHOUT SEGREGATION USE GROUT WITHIN 1.5 HOURS OF ADDITION OF MIXING WATER.
- C. MORTAR: CEMENT-LIME TYPES, 1800 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH. CONFORM TO UBC 2103.
- D. 4,000 PSI STRENGTH CONCRETE AT 28 DAY 3" TO 5" SLUMP.

LAY UNITS IN RUNNING BOND. CORNERS SHALL HAVE A STANDARD BOND BY OVER- LAPPING UNITS.

MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS SHALL BE 4'-0".

TIE VERTICAL REINFORCING AT EACH END OF BAR AND AT 4'-0" MAXIMUM VERTICAL SPACING USING SINGLE WIRE LOOP TYPE TIES AS MANUFACTURED BY A.A. WIRE PRODUCTS COMPANY OR APPROVED ALTERNATE.

SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS.

WALLS, STEM WALLS, AND AS NOTED ON DRAWINGS.

AS A STRUCTURAL ELEMENT.

- 8. PRIOR TO CROUTING, THE CROUT SPACE SHALL BE CLEAN FILLED WITH GROUT DO NOT SO THAT ALL SPACES TO BE CONTAIN MORTAR PROJECTIONS GREATER THAN 1/2 INCH. MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. SHALL BE PLACED SO THAT ALL SPACES DESIGNATED TO BE GROUTED SHALL BE FILLED WITH GROUT AND THE GROUT SHALL BE CONFINED TO THOSE SPECIFIC SPACES.
- 9. GROUT MATERIALS AND WATER CONTENT SHALL BE CONTROLLED TO PROVIDE ADEQUATE FLUIDITY PLACEMENT, WITHOUT SEGREGATION OF THE CONSTITUENTS, AND SHALL BE MIXED THOROUGHLY.
- 10. THE GROUTING OF ANY SECTION OF WALL SHALL BE COMPLETED IN ONE DAY WITH NO INTERRUPTIONS GREATER THAN ONE HOUR.
- 12. BETWEEN GROUT POURS, A HORIZONTAL CONSTRUCTION JOINT SHALL BE FORMED BY STOPPING ALL C.M.U. AT THE SAME ELEVATION AND WITH THE GROUT STOPPING A MORTAR DROPPINGS OR OTHER FOREIGN MATERIAL. GROUT SHALL BE PLACED SO THAT WHERE BOND BEAMS OCCUR. THE GROUT POUR SHALL BE STOPPED A MINIMUM OF 1/2 INCH BELOW THE TOP OF THE MASONRY.
- 13. SEGREGATION OF GROUT MATERIALS AND DAMAGE TO THE MASONRY SHALL BE AVOIDED DURING THE GROUTING PROCESS.
- 14. GROUT SHALL BE CONSOLIDATED BY MECHANICAL VIBRATION DURING PLACEMENT BEFORE LOSS OF PLASTICITY IN A MANNER TO FILL THE GROUT SPACE. GROUT POURS GREATER THAN 12 INCHES IN HEIGHT WILL BE RECONSOLIDATED BY MECHANICAL VIBRATION TO WHERE BOND BEAMS OCCUR, THE GROUT POUR SHALL BE STOPPED A MINIMUM OF 1/2 MECHANICALLY VIBRATED OR PUDDLED AND RODDED WITH SMOOTH BAR.
- 15. GROUT SHALL NOT BE HANDLED NOR PUMPED UTILIZING ALUMINUM EQUIPMENT UNLESS IT CAN BE DEMONSTRATED WITH THE MATERIAL AND EQUIPMENT TO BE USED THAT THERE WILL BE GROUTED MASONRY SHALL BE CONSTRUCTED IN SUCH A NO DELETERIOUS EFFECT ON THE STRENGTH OF THE GROUT.

 MANNER THAT ALL ELEMENTS OF THE MASONRY ACT TOGETHER 16. PLACE #4 VERTICAL REINFORCEMENT @ EACH CORNER AND @ EACH SIDE OF AN OPENING

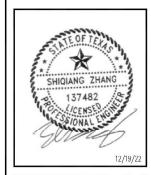


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0 12/19/22 CMU WALL DESIGN





SITE ID: DA0931D SITE NAME: PISD SPORT COMPLEX

1240 FRONTIER PKWY PARK RD, PROSPER, TX 75078 COLLIN COUNTY

> SHEET TITLE MASONRY NOTES